

Corrected

Form
TOWN OF HOLLISTON, MASS.

TOWN OF HOLLISTON
ZONING BOARD OF APPEALS
TOWN HALL

2023 JUL -5 PM 2:13

HOLLISTON, MASSACHUSETTS 01746

APPLICATION FOR GRANT OF A DIMENSIONAL VARIANCE

Date Filed: 7/5/23

Subject Address: 94 Norfolk St, Holliston, Ma. 01746

Applicant's Name: John Gagnon

Applicant's Address: 110 Norfolk St, Holliston Ma. 01746

Applicant's Email: johnplow12@aol.com

Applicant's Phone Number: 781-983-6394

Owner's Name: John E. and Celia R. Gagnon

Owner's Address: 110 Norfolk St, Holliston Ma. 01746

The Owner hereby appoints _____ to act as his/her/its agent for the purposes of submitting and processing this application for a variance.

Applicant's Signature: _____

Owner's Signature: _____

The land is shown in the Assessor's records as Map 8 Block 6 Lot 6.0

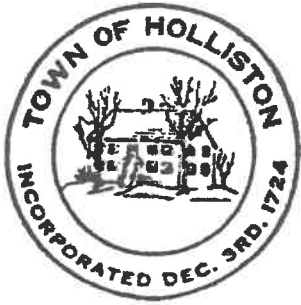
Registry of Deeds Recording Information: Book 76944 Page 320 L.C. Y (N?)

Zoning Information and Comments (To be completed by the Building Commissioner):

Zoning District: Res

Applicant is seeking to convert A pre-existing non-conforming single family dwelling to a two family and lacks the extra area. So this requires a dimensional variance.

W 7/5/23



TOWN OF HOLLISTON
ZONING BOARD OF APPEALS

TOWN HALL

HOLLISTON, MASSACHUSETTS 01746

Refund
Dimensional Van
send Mark new app.

APPLICATION FOR GRANT OF A USE VARIANCE

Date Filed: _____

94 Norfolk St., Holliston, MA

Subject Address: _____

John Gagnon

Applicant's Name: _____

781-983-6394

Applicant's Phone Number: 983 _____

johnplow12@aol.com

Applicants Email: _____

John E. and Celia R. Gagnon

Owner's Name: _____

110 Norfolk St., Holliston, MA 01746

Owner's Address: _____

The Owner hereby appoints _____ to act as
his/her/its agent for the purposes of submitting and processing this application for a
variance.

Applicant's Signature: _____

Owner's Signature: [Signature] _____

76944

320

Registry of Deeds Recording Information: Book _____, Page _____ L.C. Y/☒N

8

6

6.0

Assessor's Map _____, Block _____ Lot _____

Zoning Information (To be completed by Building Commissioner):

Zoning district:

Nature and subject matter of Variance (Please state the section of by-law from which you are seeking relief, the required standard and your proposal.):

Section IV-C-3. 10,000 sqft required for second dwelling in a 2 family dwelling.

Convert pre-existing, non-conforming single family dwelling to a 2 family dwelling containing 2 units within the existing footprint. Unit 1 containing 1,184 sqft and unit 2 containing 494 sqft

Existing lot area is 24,900 sqft.

The Applicant presents the following evidence that supports grant of the dimensional Variance:

a. Literal enforcement of the provisions of this by-law would involve substantial hardship, financial or otherwise, owing to circumstances related to the following unique physical characteristics of the land (1. soil condition, 2. shape or 3. topography of land or structures):

The dimensions and shape of the pre-existing, nonconforming lot do not meet the dimensional requirements of today's zoning bylaw for front setback and area for a second dwelling unit.

b. If this variance is allowed it will create no substantial detriment to the public good because:

There will be no change to the existing footprint of the building. There is adequate area for parking and good driveway accessibility.

c. If this variance is allowed, it will not nullify or substantially derogate from the intent and purpose of the zoning bylaw because:

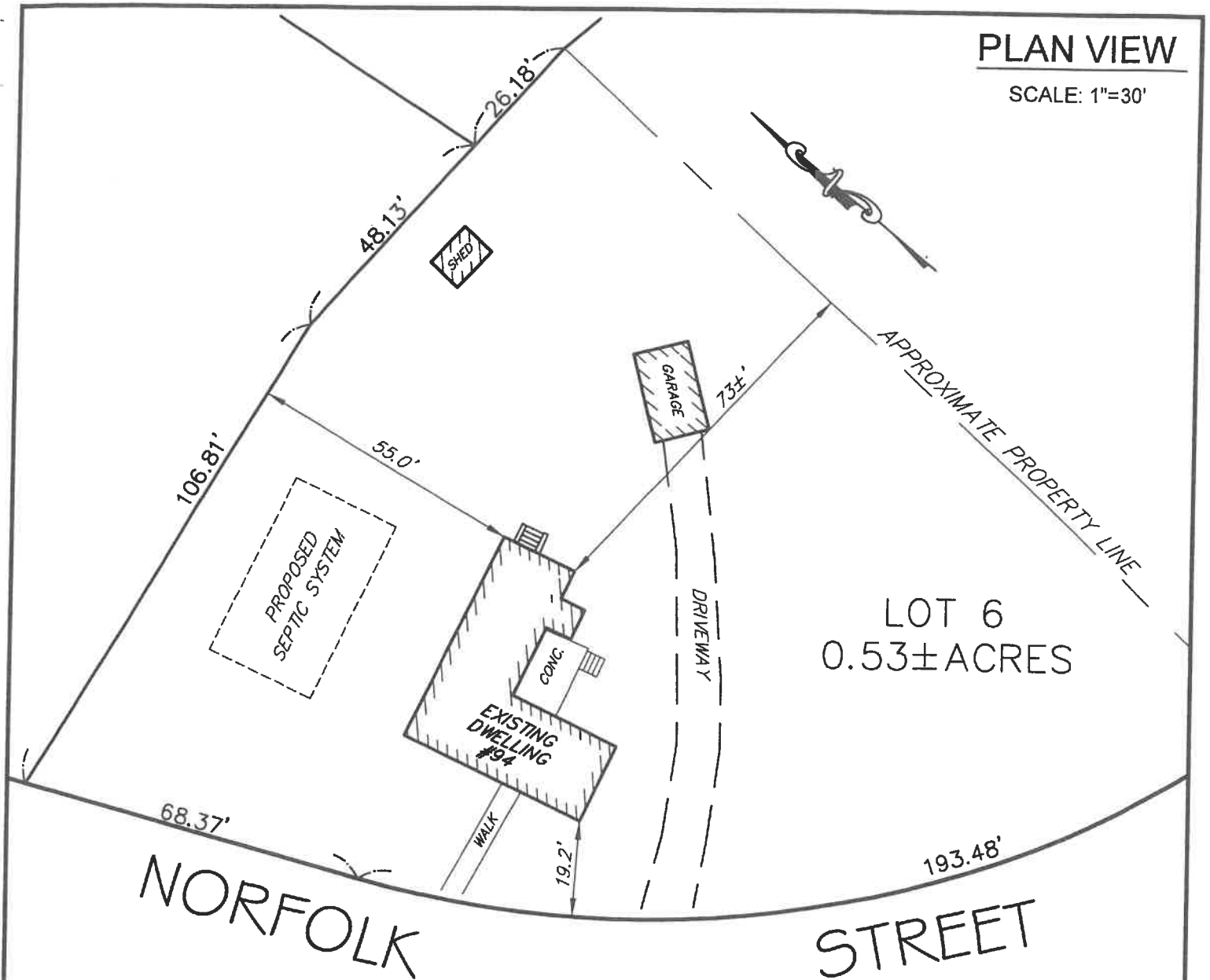
The proposed use is a by right use in the district and will have no negative impact on the intent of the zoning by-law.

d. Will the proposed use include the storage or process of any hazardous substance?

Yes _____ (Please attach additional information.) No ☒ _____

PLAN VIEW

SCALE: 1"=30'



ZONING CLASSIFICATION: RESIDENTIAL DISTRICT

	MIN. REQUIRED	EXISTING
MIN. LOT SIZE	30,000 S.F.	23,000±S.F.
MIN. FRONTAGE	120'	261.85'
LOT DEPTH	150'	190'
FRONT SET BACKS	30'	19.2'
SIDE SETBACKS	20'	55.0'
REAR SETBACKS	30'	N/A

I certify that the building on this property is located as shown.



GLM Engineering Consultants, Inc.

19 EXCHANGE STREET
HOLLISTON, MA 01746

P: 508-429-1100

www.GLMengineering.com

PLOT PLAN OF LAND
94 NORFOLK STREET
HOLLISTON, MA 01746

JUNE 26, 2023

JOB # 14,887-2023

6/26/23

DIVISION OF UNITS

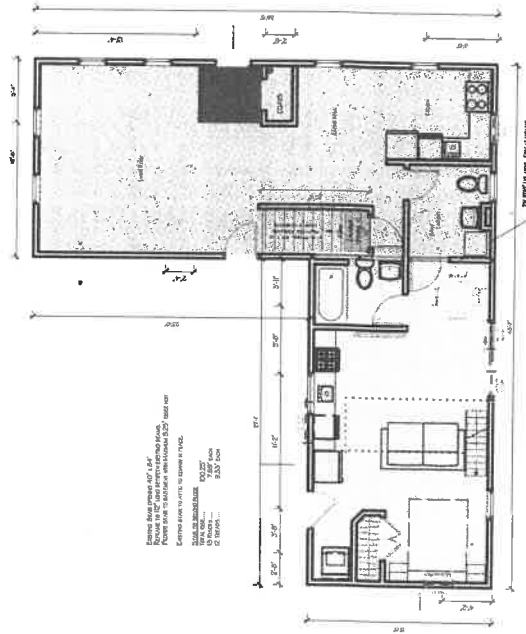
UNIT AREAS:

#94 MAIN UNIT

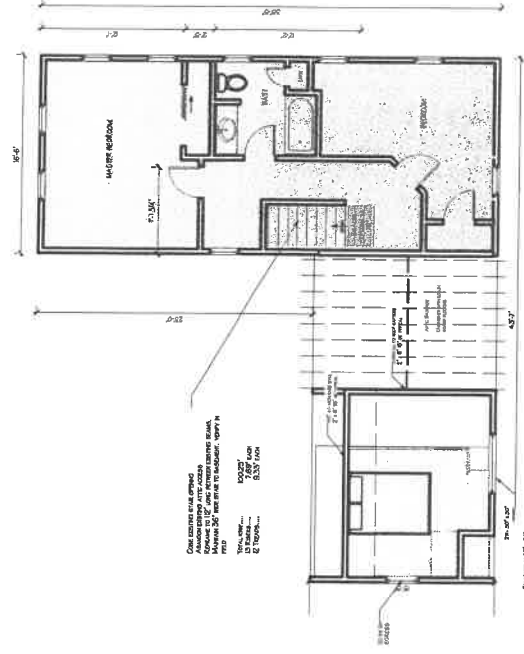
FIRST FLOOR	592 SQ FT
SECOND FLOOR	592 SQ FT
TOTAL LIVING AREA	<u>1,184 SQ FT</u>

#96 UNIT 2

FIRST FLOOR	414 SQ FT
LOFT (7'CLG)	80 SQ FT
TOTAL LIVING AREA	<u>494 SQ FT</u>



1
First Floor
Scale: 1/16" = 1'-0"

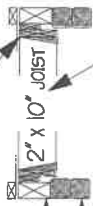


2
Second Floor
Scale: 1/16" = 1'-0"

Project Name	94 Norfolk St. Multi Family	
Client Name	John Gagnon	Client Address 94 Norfolk St., Holliston, MA
Sheet Number	Cover Sht	Sheet Title Proposed unit separation

NEW 2" x 6" CONTINUOUS SPACER
NEW 1 3/4" x 9 1/4" LVL
6' TIMBERLOCK SCREWS, 2 EACH AT
16" OC

EXISTING 4" x 8" SILL BEAM
IRREGULAR STONE FOUNDATION



NEW 2" x 10" KD FLOOR JOISTS 16' OC
TYPICAL
PROVIDE JOIST HANGERS AT EACH END
3/4" DECKING

Floor Reframing Detail

Scale: 1/4" = 1'-0"

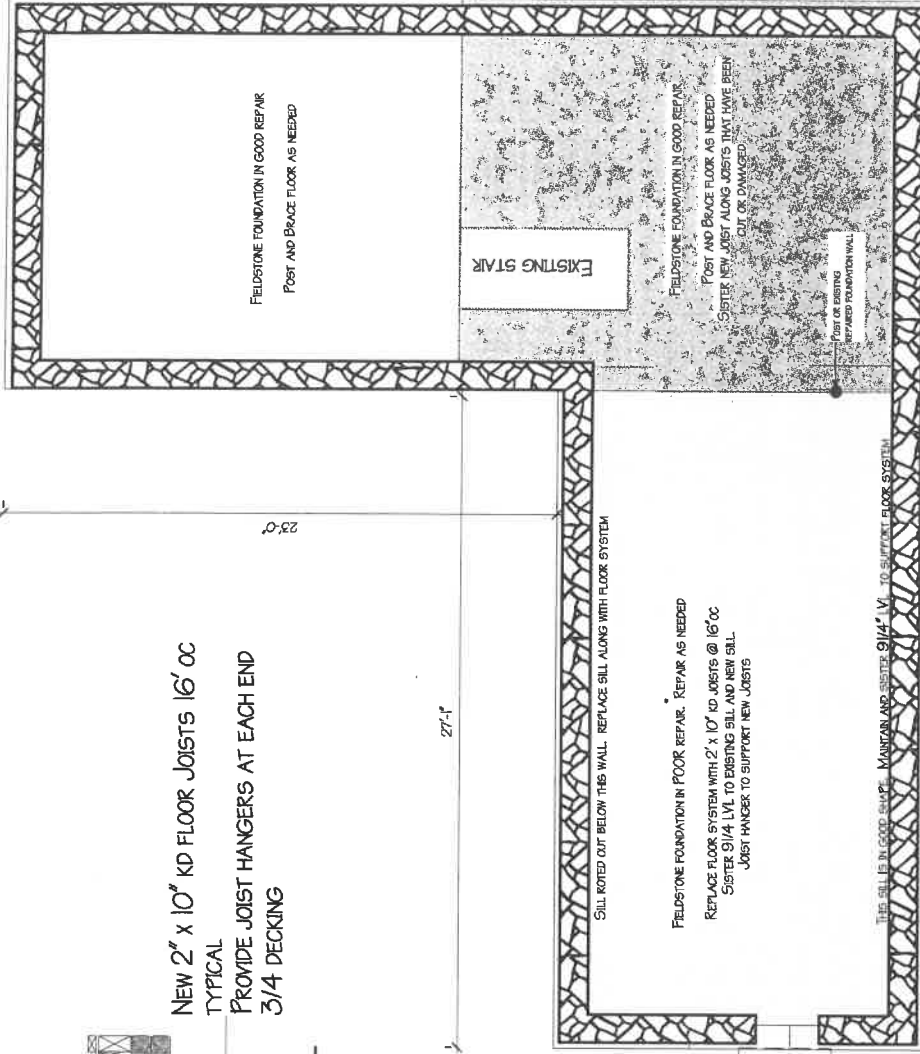
2

27'-1"

23'-0"

18'-6"

38'-5"



43'-7"

Existing Foundation

Scale: 1/8" = 1'-0"

1

Project Name

94 Norfolk St. Multi Family

Client Name

John Gagnon

Client Address

94 Norfolk St.,
Holliston, MA

Sheet Number

Sht-1 OF 5

Sheet Title

Existing Foundation

VERIFY ALL DIMENSION IN FIELD

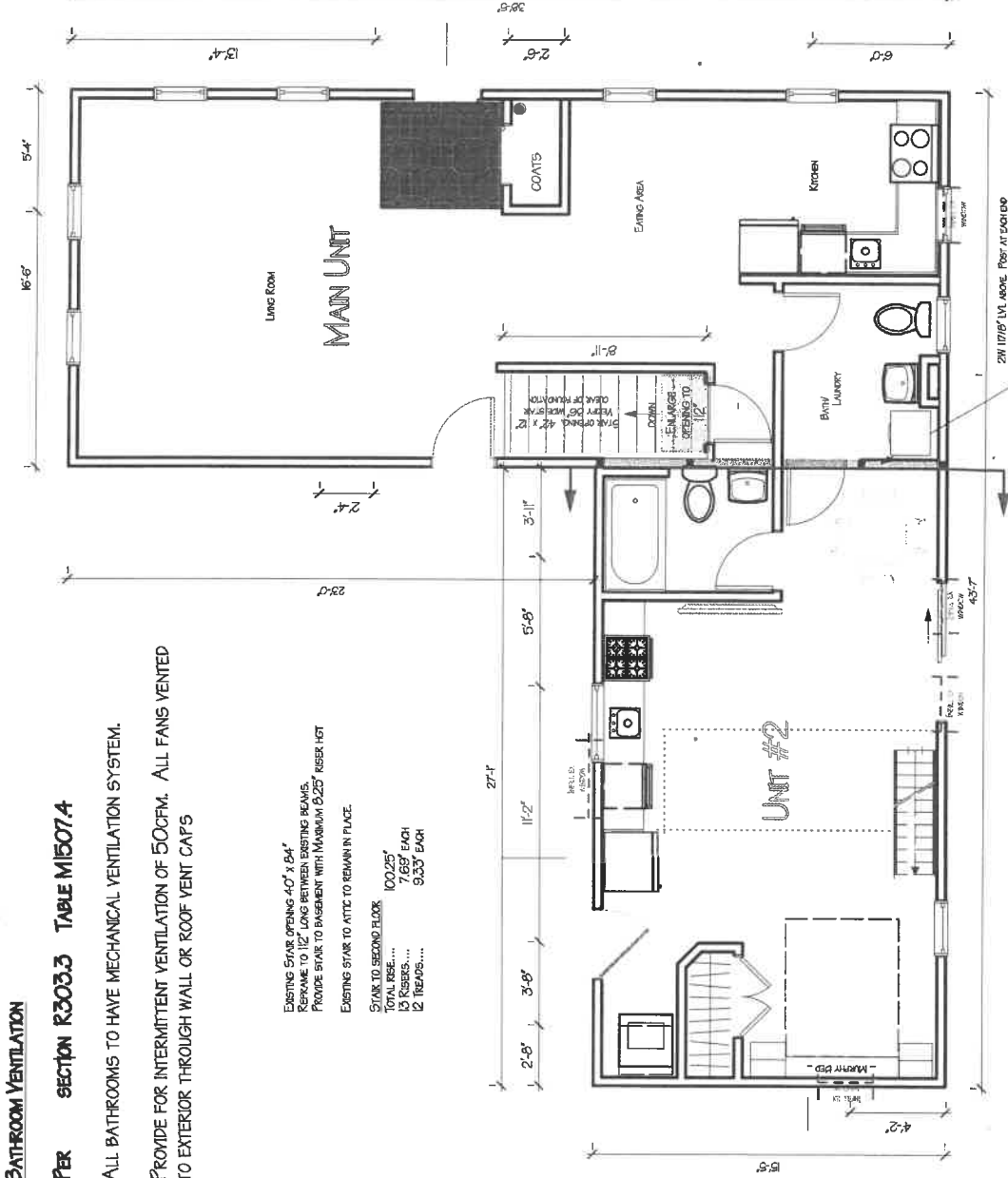
BATHROOM VENTILATION

PER SECTION R303.3 TABLE M1507.4

ALL BATHROOMS TO HAVE MECHANICAL VENTILATION SYSTEM.

PROVIDE FOR INTERMITTENT VENTILATION OF 50CFM. ALL FANS VENTED TO EXTERIOR THROUGH WALL OR ROOF VENT CAPS

EXISTING STAIR OPENING 40' x 64'
REMOVE TO 112" LONG BETWEEN EXISTING BEAMS.
PROVIDE STAIR TO BASEMENT WITH MAXIMUM 0.25" RESIST HOT
EXISTING STAIR TO ATTIC TO REMAIN IN PLACE
STAIR TO SECOND FLOOR
TOTAL RISE..... 100.25'
13 RISERS..... 7.68' EACH
12 TREADS..... 9.33' EACH



NOTES:

COVER EXISTING BOARD FLOORS WITH 3/4" WIDE PINE FLOORING
USE EXISTING EXTERIOR FRAME WALLS. BLOCKING AS NEEDED

EXTERIOR:
SIDING, PATCH AND REPAIR AS NEEDED
ROOF. PATCH AND REPAIR AS NEEDED

WINDOWS:
REPLACEMENT WINDOWS BY HARVEY OR EGAUL
IN ALL EXISTING WINDOWS. PROVIDE NEW WINDOWS
TO MATCH IN KITCHEN. SIZE TBD

INTERIOR :
1/2" BLUEBOARD AND SKIMCOAT PLASTER
CARPET OR VINYL PLANK FLOORING
CERAMIC TILE BATH FLOORS

INSULATION:
WALLS R-13 BATTIS WITH POLY VAPOR BARRIER
RIM JOIST. 2" CLOSED CELLFOAM. R-14
ATTIC/ROOF FILL BAYS WITH CLOSED CELL FOAM
BASEMENT CEILING R-19 BATTIS

Proposed First Floor

Scale: 1/8" = 1'-0"

...FINAL KITCHEN DESIGN AND LAYOUT BY OTHERS...

Project Name		94 Norfolk St.	Multi Family
Client Name	John Gagnon	Client Address	94 Norfolk St., Holliston, MA
Sheet Number	Sht-2 OF 5	Sheet Title	First Floor plan

VERIFY ALL DIMENSION IN FIELD

BATHROOM VENTILATION

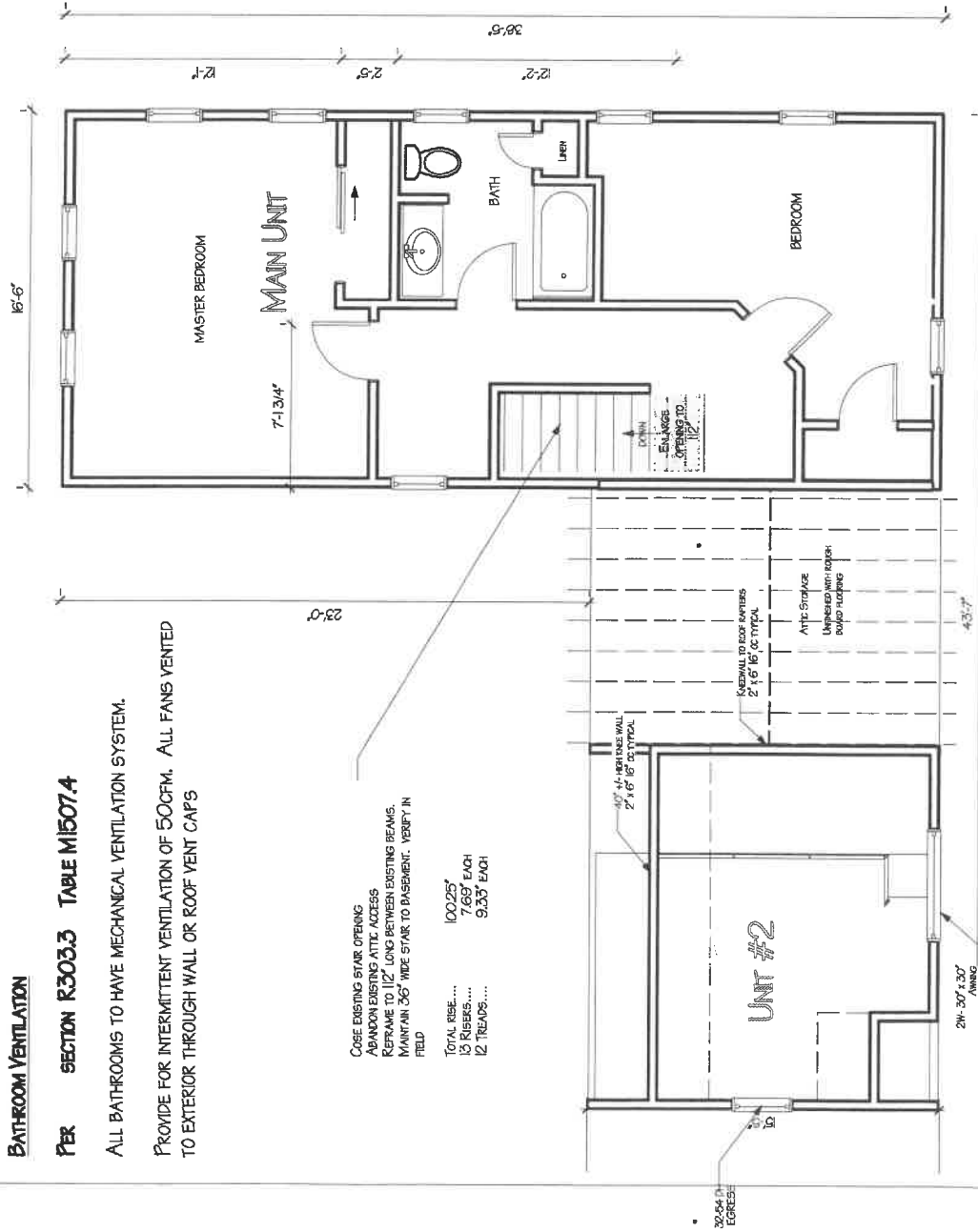
PER SECTION R303.3 TABLE M1507.4

ALL BATHROOMS TO HAVE MECHANICAL VENTILATION SYSTEM.

PROVIDE FOR INTERMITTENT VENTILATION OF 50CFM. ALL FANS VENTED TO EXTERIOR THROUGH WALL OR ROOF VENT CAP'S

CODE EXISTING STAIR OPENING
ABANDON EXISTING ATTIC ACCESS
REFRAME TO 112" LONG BETWEEN EXISTING BEAMS.
MAINTAIN 36" WIDE STAIR TO BASEMENT. VERIFY IN
FIELD

TOTAL RISE ... 100.25"
13 RISERS ... 7.69" EACH
12 TREADS ... 9.33" EACH



Proposed Second Floor

Scale: 1/8" = 1'-0"

3

NOTES:

COVER EXISTING BOARD FLOORS WITH 3/4" WIDE PINE FLOORING
USE EXISTING EXTERIOR FRAME WALLS. BLOCKING AS NEEDED

EXTERIOR: SIDING. PATCH AND REPAIR AS NEEDED
ROOF. PATCH AND REPAIR AS NEEDED

WINDOWS: REPLACEMENT WINDOWS BY HARVEY OR EQUAL
IN ALL EXISTING WINDOWS. PROVIDE NEW WINDOWS
TO MATCH IN KITCHEN. SIZE TBD

INTERIOR: 1/2" BLUEBOARD AND SKIMCOAT PLASTER
CARPET OR VINYL PLANK FLOORING
CERAMIC TILE BATH FLOORS

INSULATION: WALLS R-13 BATT'S WITH POLY VAPOR BARRIER
RIM JOIST. 2" CLOSED CELLFOAM. R-14
ATTIC/ROOF FILL BAYS WITH CLOSED CELL FOAM
BASEMENT CEILING R-19 BATT'S

Project Name

94 Norfolk St.

Multi Family

Client Name

John Gagnon

Client Address

94 Norfolk St.,
Holliston, MA

Sheet Number

Sht-3 OF 5

Sheet Title

Second Floor Plan

VERIFY ALL DIMENSION IN FIELD

INSULATION SCHEDULE:

MAIN UNIT

EXISTING WALLS: R-15 BATT'S KRAFT
EXISTING RAFTERS: 5" CLOSED CELL FOAM R-35
FLOOR: FILL BAYS. R-19
HVAC HEAT PUMP WITH MINI SPLIT

IN LAW UNIT

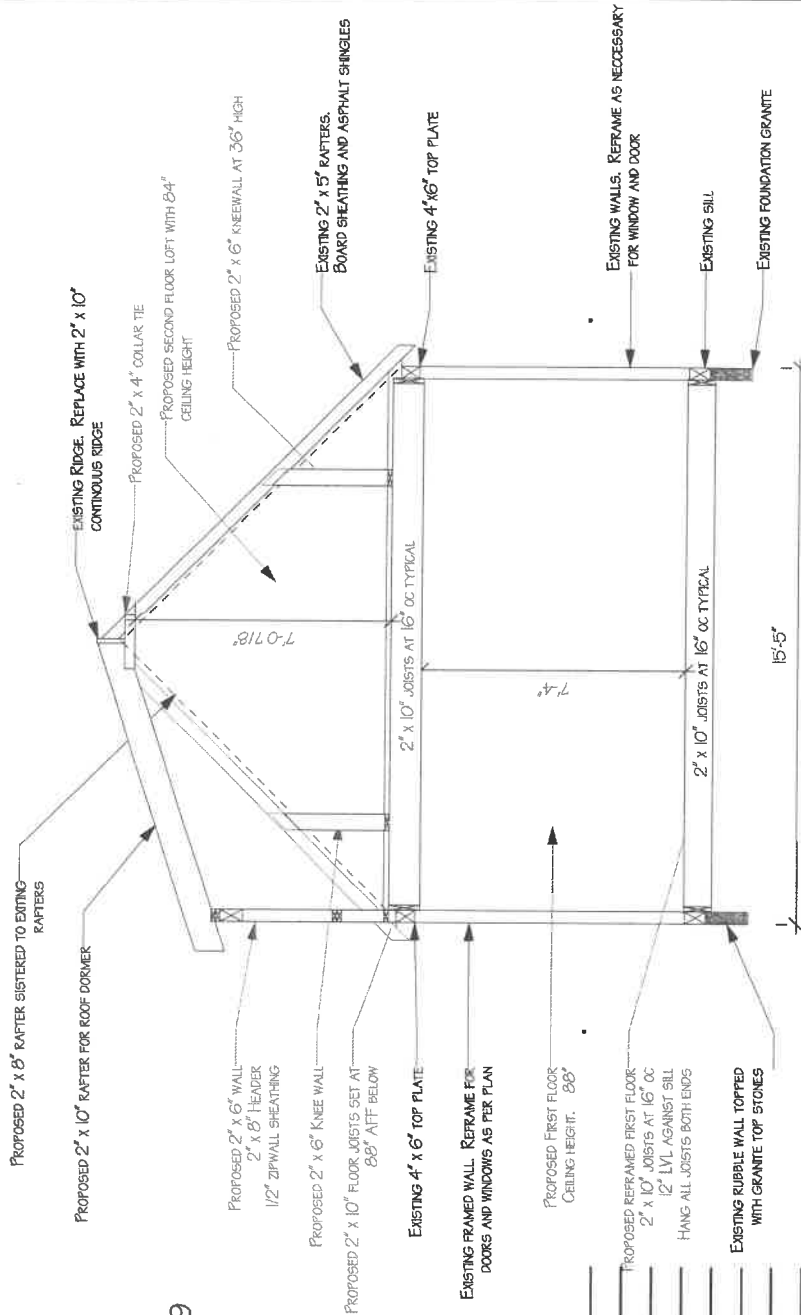
EXISTING WALLS: R-15 BATT'S KRAFT
RAFTERS: 7" CLOSED CELL FOAM. R-49
FLOOR: FILL BAYS. R-19
HVAC HEAT PUMP WITH MINI SPLIT

WINDOW SCHEDULE:

MAIN UNIT

UNIT #2

--



Section View-INLAW area

1

Scale: 3/16" = 1'-0"

Project Name 94 Norfolk St. Multi Family		Client Address 94 Norfolk St., Holliston, MA	
Client Name John Gagnon		Sheet Title Section View	
Sheet Number Sht-4 OF 5		Sheet Title Section View	