

TOWN OF HOLLISTON
ZONING BOARD OF APPEALS

TOWN HALL

HOLLISTON, MASSACHUSETTS 01746

OFFICE OF THE
TOWN CLERK
HOLLISTON, MASS

2019 DEC 30 AM 11:25

APPLICATION FOR GRANT OF A SPECIAL PERMIT

Date Filed: _____

Applicant's Name: William L. Harvey III, ESQ. William HARVEY LAW e g m a l l c o

Applicant's Address: 71 North Road, Chelmsford, MA 01824

Applicant's Phone Number: 978-815-2243

Owner's Name: Gulf Services Inc.

Owner's Address: 293 Chelmsford Street, Chelmsford, MA 01824

The Owner hereby appoints William L. Harvey III, Esq. to act as his/her/its agent for the purposes of submitting and processing this application for a special permit.

The Owner's title to the land that is the subject matter of this application is derived under deed from Cumberland Farms Inc. , dated October 01, 2012

And recorded in Middlesex South Registry of Deeds, Book 60192 , Page 28

Or Land Court Certificate of Title No. _____ , registered in

District Book _____ , Page _____ .

The land is shown in the Assessor's records as Lot 60 on Map 8E , Block 3

And has an address of or is located at 799 Washington Street

in the Village Comm. zoning district.

Under the provisions of Section VI-D (2) to vary the terms of Section I-B and the following, the Applicant hereby petitions the Board of Appeals:

Nature and subject matter of Special Permit:

Operation of a gas station in the Village Commercial District.
REDUCTION IN YARD SETBACKS

Section of Zoning Bylaw that permits this use by grant of Special Permit:

III.E.3

Section ~~VI-B~~
V-K-5

Previous Zoning Information (To be completed by Inspector of Buildings):

PRIOR SPECIAL PERMIT HAS LAPSED FOR GAS STATION USE
PROPOSED CANOPY REQUIRES YARD REDUCTION TO 1.7' ON WASHINGTON ST SIDE
+ 11.9' ON GREEN ST SIDE. SECTIONS III.E.3, IV-B FOOTNOTE ** + V-K-5
CC 11/20/19

The Applicant presents the following evidence that supports the grant of the special Permit:

a. The use is in harmony with the general purpose and intent of the bylaw because:

The subject property was previously operated as a full service gasoline station since 1964 until 2012. The gasoline station building has remained unaltered on the property. Reopening the gasoline station will have little impact on the area and the purpose of the zoning Bylaw will be met and for the aforementioned reasons will not substantially derogate from the intent and purpose of the Bylaw, nor be a detriment to the neighborhood and/or commercial village district.

b. The general or specific provisions of a grant of a special permit, as set forth in the zoning bylaw are satisfied because:

Permitting a special permit will not substantially derogate from the intent and purpose of the Bylaw, nor be a detriment to the commercial village district.

Will the proposed use include the storage or process of any hazardous substances?

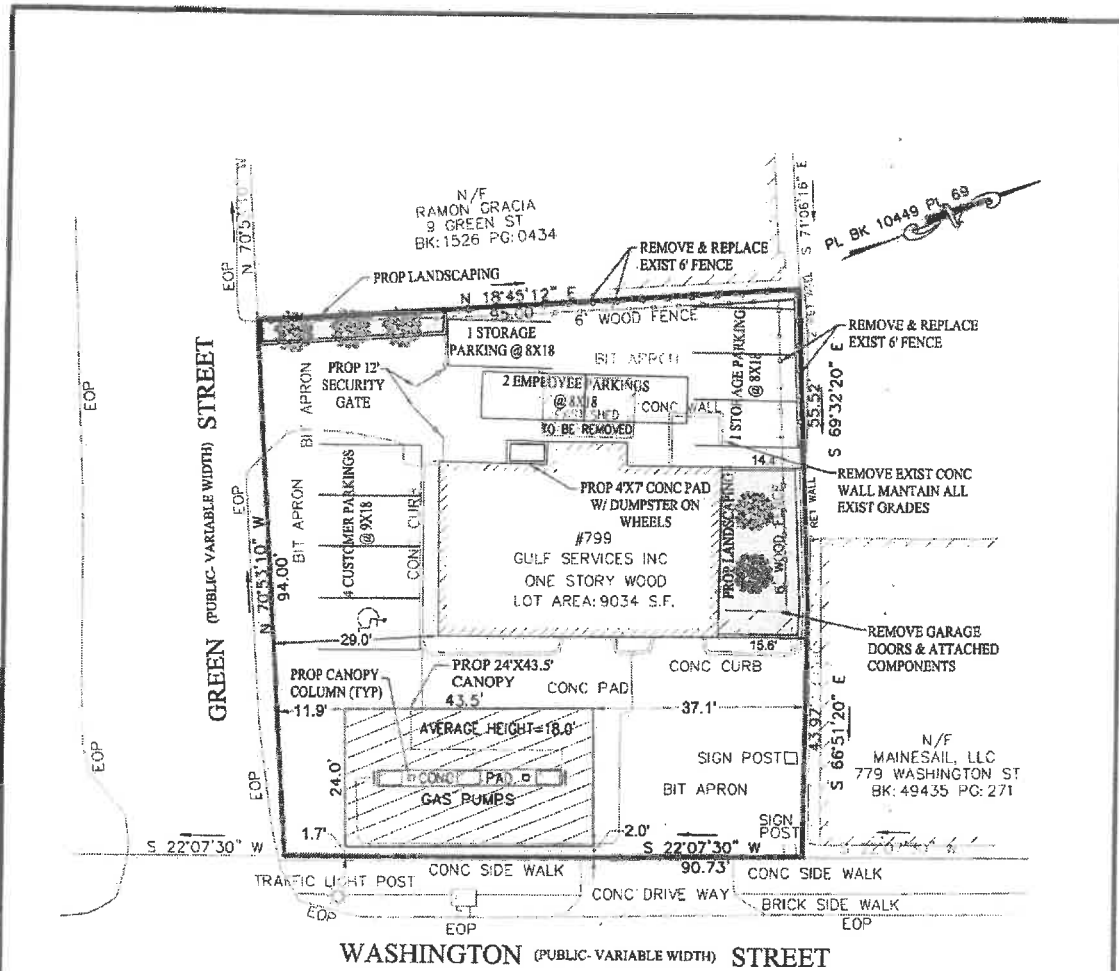
Yes x (Please attach additional information.) No _____

Underground petroleum tanks

Applicant's Signature: 

Owner's Signature: _____

799 Washington



OWNER OF RECORD

GULF SERVICES INC
BK. 60192 PG. 28
PID 136/008.E-0003-0060.0
LOT AREA= 9034 S.F.

ZONING

ZONING DISTRICT:	VILLAGE COMMERCIAL		
MINIMUM SETBACKS: REQUIRED	PROVIDED	RELIEF SOUGHT	
FRONT:	10'	1.7'*	8.3'
SIDE:	15'	11.9'*	3.1'
REAR:	15'	12.6'**	-
FRONTAGE:	70'	90.7'/94.0'	-
MIN LOT AREA:	5,000 SF	9,034 S.F.	-
MAX BUILDING HEIGHT:	40'	18.0"*	-
MAX STORIES:	3	1	-

- * PROPOSED CANOPY
- ** EXISTING-NON-CONFORMING

LEGEND

CONC: CONCRETE
ELEC: ELECTRICAL
EOP: EDGE OF PAVEMENT
RET: RETAINING WALL
PROP: PROPOSED
ET: ELECTRIC TRANSFORMER

CERTIFICATION:

I CERTIFY THAT THIS PLAN AS SHOWN
IS BASED ON ON-GROUND SURVEY



LAST REVISED: 02/21/2020

PROFESSIONAL LAND SURVEYOR

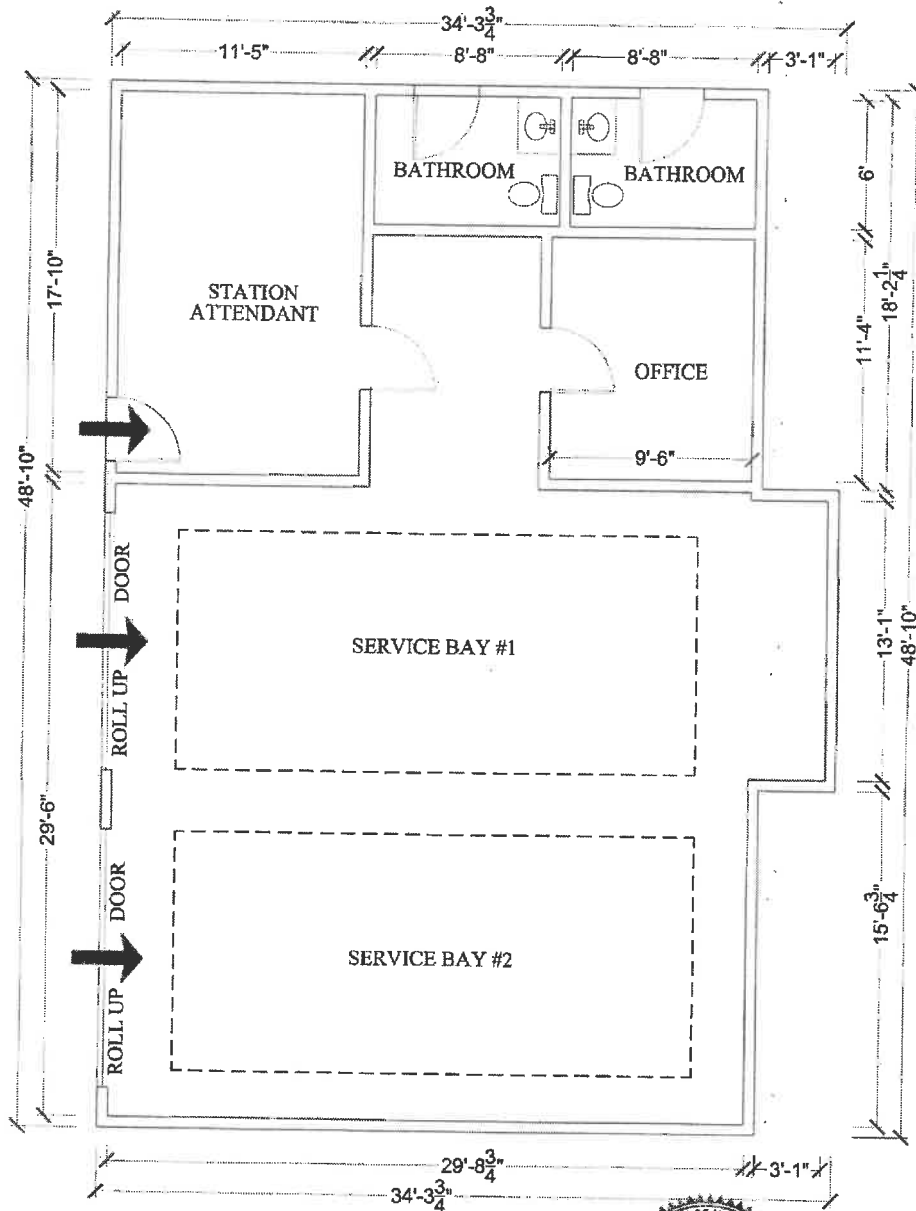
2/21/2020
DATE

JOB. NO: 19-610	FLD. BK: TAJ-19
DATE: 07/24/2019	CHECK: HSA
SCALE: 1" = 20'	SURVEY: KB/AF
SHEET: 1 OF 2	CALC: HSA
	DRAFT: JP/AF

PROPOSED CANOPY
799 WASHINGTON ST
HOLLISTON, MA
PREPARED FOR:
GULF SERVICES INC.

TAJ ENGINEERING, LLC
CIVIL & STRUCTURAL ENGINEERS, LAND SURVEYORS
PROJECT MANAGEMENT, PERMITTING
225 STEDMAN ST. SUITE 36B, LOWELL, MA, 01851
7 MONTVIEW ROAD, CHELMSFORD, MA, 01824
PHONE: 978-250-8173 FAX: 978-770-0632
Info@taj-engineering.net

799 Washington



FLOOR PLAN
SCALE: 3/16"=1'



JOB. NO: 19-610	FLD. BK: TAJ-19	FLOOR PLAN	TAJ ENGINEERING, LLC
DATE: 02/21/2020	CHECK: HSA	GAS/SERVICE STATION	CIVIL & STRUCTURAL ENGINEERS, LAND SURVEYORS
SCALE: 3/16"=1'	SURVEY: KB/AF	799 WASHINGTON ST	PROJECT MANAGEMENT, PERMITTING
SHEET: 2 OF 2	CALC: HSA	HOLLISTON, MA	225 STEDMAN ST, SUITE 36B, LOWELL, MA, 01851
	DRAFT: JP/AF	PREPARED FOR:	7 MONTVIEW ROAD, CHELMSFORD, MA, 01824
		GULF SERVICES INC.	PHONE: 978-250-8173 FAX: 978-770-0532
			Info@tajengineering.net

SOURCE NORTH AMERICA
LYNN, MA



NOTES AND SPECIFICATIONS

- American will not be held liable for any damages to canopy due to the installation of mechanical, electrical, or other trades.
- Information shown on this document is the sole property of American, and is not to be used without the written consent of American.
- Any traffic on top of canopy deck is required to lay a minimum 4' x 4' x 1/2" plywood walk panel over deck ribs to distribute weight.
- No loading on top face of deck panel is allowed, to prevent damage to panel.
- Canopy erection shall verify all elevations and canopy clearance prior to erection.
- All field welds are to be applied in accordance with AWS specifications.
- All high strength bolts are type A325 bearing 'N' type and shall be fully tightened per AISC Specification for Structural Joints Using ASTM A325 or A490 Bolts.
- Washers are to be installed over all slotted holes.
- American is to be notified prior to any field modifications. All modifications must be approved by American.
- Structural steel design and fabrication is in accordance with the AISC 'Specification for Steel Buildings', 2005 ed.
- Cold-formed steel is designed in accordance with the 2007 AISI 'North American Specification for the Design of Cold-formed Steel Structural Members'.
- All welding shall conform to AWS D11-00.
- Concrete 28 day compressive strength = 3000 psi.
- Soil bearing capacity shall be min. 3000 psf. Verify in field by appropriate authority.
- Lateral soil bearing capacity shall be min. 300 psf / ft. depth. Verify in field by appropriate authority.

COMMON ABBR.

- ns - Near side
- fs - Far side
- typ. uno. - Typical unless noted otherwise
- sln - Similar
- n/a - Not applicable

THESE PLANS PERTAIN TO THE PRODUCT DESIGNED AND SUPPLIED BY AMERICAN CORP. THIS SEAL BY THOMAS R. PRICE APPLIES ONLY TO THE AMERICAN PRODUCT DESCRIBED HEREIN, AND IS NOT TO BE CONSTRUED AS PROJECT ENGINEER OF RECORD.

BUILDING LOADS:

Code: MASS 9th ED.
Roof Dead Load: actual
Ground Snow Load: 40 psf
Wind Load: 117 mph / Exp. B

Seismic: II
Use Group: AS201
Soil: S1
Site Class: D
System: DSMP
Base Shear: 2433 lb.
Procedure: Equivalent Lateral Force Procedure 12.8
Design Category: B

NOTE: IMPORTANT

PLEASE CHECK DIMENSIONS AND RETURN SIGNED PRINT WITH ANY CHANGES REQ'D. IF VC ARE NOT ADVISED OF ANY CHANGES WITHIN 7 DAYS, WE SHALL MANUFACTURE ACCORDING TO PRINT DIMENSIONS AND CANNOT ACCEPT ANY RESPONSIBILITY FOR CHANGES THEREAFTER.

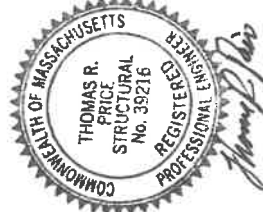
Material Specifications:

Hot-rolled Structural
Structural Tube
Plate
Cold-Formed structural
Deck Panels
Welds
High strength bolts
Washers
Anchor Rods
Reinforcement steel

A992
A500 Grade B (fy=46 ksi)
A36
A653 CS Type B
A653 SS Gr. 50
AWS/D1.1 E70xx electrode
A325N
F436
F1554
A615 Gr. 60

Deck Panel Properties

Gauge	Depth	In.	Thickness	Net	Wt.	Sect	Sect	Wt.	Wt.
22	2.63	.0299	7.87	5.37	.273	.224	.571	.267	.183
20	2.63	.0359	10.08	7.00	.350	.243	.720	.338	2.68
19	2.63	.0418	11.50	8.69	.399	.302	.824	.410	3.61



260-479-8800
7707 FREEDOM WAY
FORT WAYNE, IN 46918

COVER SHEET

SCALE: NONE	APPROVED BY:	DRAWN BY:
DATE: 7-19-19	TP	TP
JOB NAME:	JOB NUMBER:	5623
JOB LOCATION: HOLLISTON, MA	CUSTOMER: SOURCE NORTH AMERICA	DRAWING #
LYNN, MA		1 OF 4

7-19-19

QUOTE# 17972