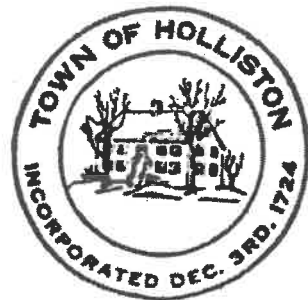




TOWN OF HOLLISTON
ZONING BOARD OF APPEALS
TOWN HALL

HOLLISTON, MASSACHUSETTS 01746

2023 SEP 26 AM 9:26

APPLICATION FOR GRANT OF A ^{Dimensional} ~~USE~~ VARIANCE

Date Filed: 9/25/2023

Subject Address: 30 Green St Holliston MA

Applicant's Name: Mark Frank- Parks and Recreation

Applicant's Phone Number: 5087409658

Applicants Email: frankm@holliston.k12.ma.us

Owner's Name: Holliston Parks and Recreation

Owner's Address: 1750 Washington St Holliston MA

The Owner hereby appoints Mark Frank to act as his/her/its agent for the purposes of submitting and processing this application for a variance.

Applicant's Signature: Mark Frank

Digitally signed by Mark Frank
DN: cn=Mark Frank, o=Town of Holliston, ou=Parks and Recreation,
c=US, email=frankm@holliston.k12.ma.us, postalCode=01746
Date: 2023.09.25 12:52:14 -0400

Owner's Signature: [Signature]

Registry of Deeds Recording Information: Book 05971, Page 303 L.C. Y/N?

Assessor's Map 8.E, Block 3 Lot 56

Zoning Information (To be completed by Building Commissioner):

Zoning district: AR-B

The Town is expanding a pre existing non
containing structure at Goodwill park. It will
encroach on 11116 closed to Green St. (Front setback)

W 9/25/23

Nature and subject matter of Variance:

I-C(3.2) Pre-existing Non-conforming structure - front yard setback:
Standard: 40'

The corner of the existing structure that is closest to the property line is 15.40' . The corner of the addition that is closest to the property line is 9.30'

Section of Zoning Bylaw that permits this use by grant of Variance:

I-C

(3.1-2)
Alteration to provide a substantially different purpose or for the same purpose in a substantially different manner or to a substantially greater extent

The Applicant presents the following evidence that supports grant of the Variance:

a. If this Variance is allowed it will alleviate a substantial hardship because:

It will allow up to preserve the historic building as well as allow for increased space to ensure safety at Holliston's summer camp programs

b. If this variance is allowed it will create no substantial detriment to the public good because:

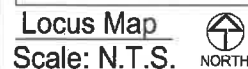
The existing structure is already within the setback and has not caused any significant issues to the surrounding properties. This design allows us to keep the historic building intact while repurposing it for modern use.

c. If this variance is allowed, it will not nullify or substantially derogate from the intent and purpose of the zoning bylaw because:

The structure is within the setback and the proposed impacts are minimally impactful to the existing footprint of the current structure.

d. Will the proposed use include the storage or process of any hazardous substance?

Yes _____ (Please attach additional information.) No **X** _____



30 GREEN ST.
HOLLISTON, MA 01746

2022.2

BID SET: 09/21/2023

OWNER/APPLICANT:

*Town of Holliston
703 Washington Street
Holliston, Massachusetts 01746*

ARCHITECT:

Chemini Design Architects, LLC
325 Hopping Brook Park, Suite C
Holliston, MA 01746
Tel: 508-429-0717
www.cheminiarchitects.com

STRUCTURAL ENGINEER:

Testa Engineering Associates
181 Worcester Street,
Natick, MA 01760
Tel: 508-655-2420
TestaEngineering.com

CIVIL ENGINEER:

DGT Associates
Surveying & Engineering
Framingham / Boston / Worcester
1071 Worcester Road
Framingham, MA 01701
Tel: 857-524-1436
www.dgtassociates.com

SURVEYOR:

Control Point Associates, Inc.
352 Turnpike Rd,
Southborough, MA 01772
Tel: 508-524-1436

LANDSCAPE ARCHITECT:

Steven G. Cosmos, Landscape Architect
5 Longview St, Natick, MA 01760
Tel: 508-654-6847

SHEET LIST:

T1.0 TITLE SHEET
T1.1 GENERAL NOTES, BUILDING I.D. PLAN,
& SITE ELECTRICAL SCHEMATIC

S-1 SITE PLAN

C-1 SITE PLAN
C-2 EROSION & SEDIMENT CONTROL & DEMOLITION PLAN
C-3 SITE DETAILS #1
C-4 SITE DETAILS #2

L-1 LANDSCAPE PLAN

RECREATION BUILDING (BUILDING - A):

A1.0 DEMOLITION, FOUNDATION & FIRST FLOOR PLANS
A2.0 ELEVATIONS
A3.0 ROOF FRAMING PLANS
A4.0 BUILDING SECTIONS & DETAILS
A4.1 BUILDING SECTIONS
A4.2 BUILDING SECTION
A4.3 DETAILS
A4.4 DETAILS & SCHEDULES
E1.0 ELECTRICAL SCHEMATIC

MULTI-PURPOSE COVERED STRUCTURE (BUILDING - B):

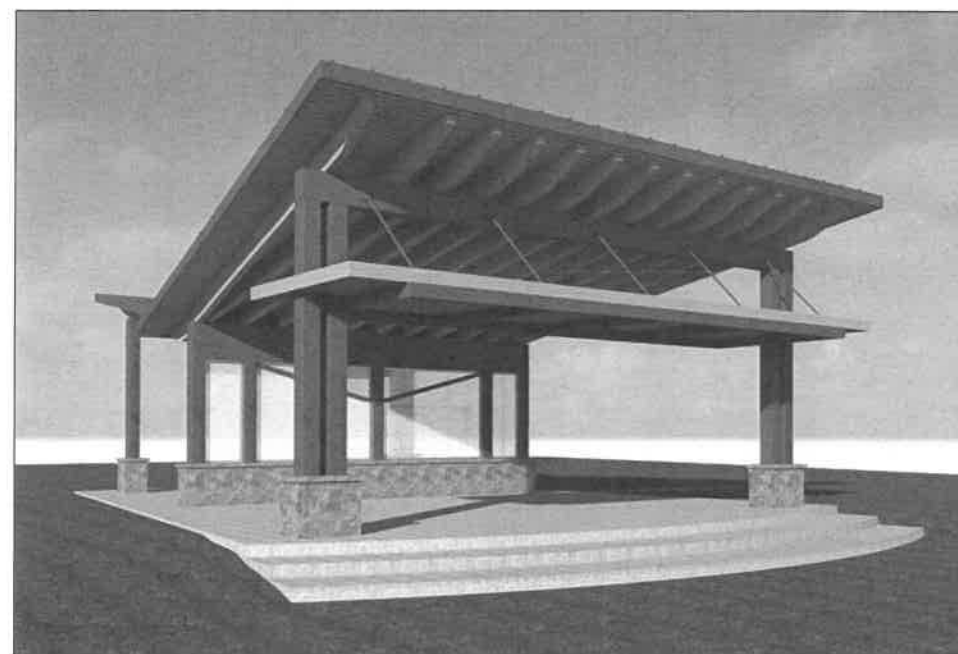
A1.0 FOUNDATION PLAN, DETAILS, & SCHEDULES
A1.1 FIRST FLOOR & ROOF PLANS
A2.0 ELEVATIONS
A3.0 ROOF FRAMING PLANS
A4.0 BUILDING SECTION & DETAILS
A4.1 CANOPY PLAN, SECTION, & DETAILS
E1.0 ELECTRICAL LIGHTING SCHEMATIC

COMFORT STATION (BUILDING - C):

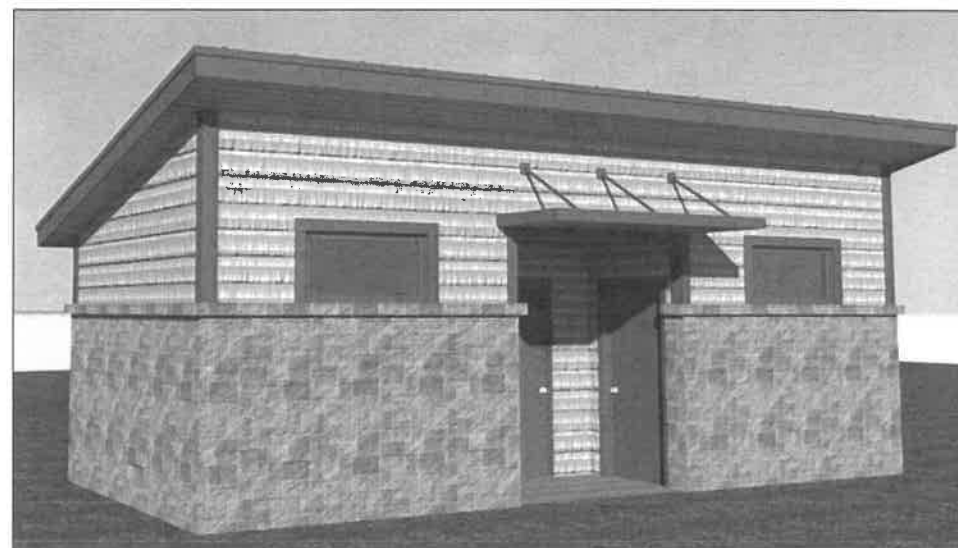
A1.0 PREFABRICATED COMFORT STATION PLANS



RECREATION BUILDING



MULTI-PURPOSE COVERED STRUCTURE



PREFABRICATED COMFORT STATION

Chemini Design Architects, LLC
325 Hopping Brook Rd., Suite C
Holliston MA 01746
Tel: 508-429-0717
www.cheminiarchitects.com

CHEMINI DESIGN
ARCHITECTS

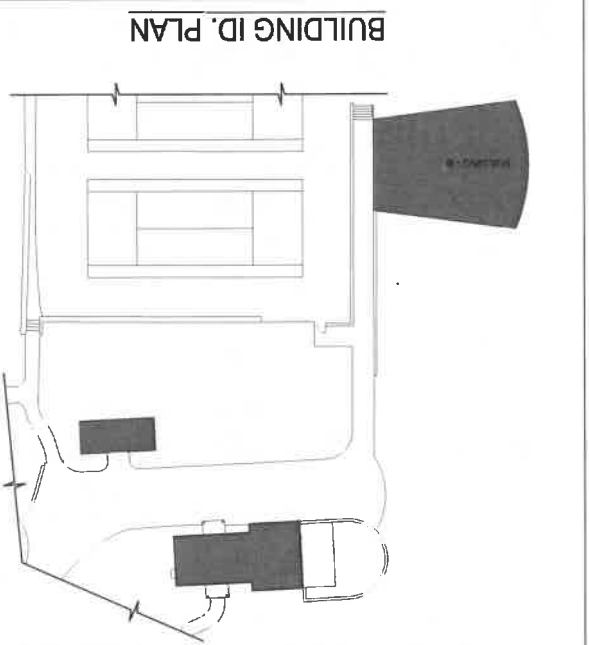
T1.0

PROJECT NAME: GOODWILL PARK

CLIENT NAME: Holliston Park & Recreation

PROJECT No.: 2022.2

DATE: 09.21.2023



BUILDING ID. PLAN

REVISIONS

Holliston Park & Recreation
Goodwill Park - General Notes
30 Green Street,
North Holliston, MA 01746

**GENERAL NOTES, BUILDING I.D. PLAN,
& SITE ELECTRICAL SCHEMATIC**

Project No.: 20222.2
Drawn By: DW/MF
Checked By: DAC
Date: 09.21.2023

11.1

THIS DRAWING SET IS NOT INTENDED FOR CONSTRUCTION UNTIL ISSUED BY CHEMINI DESIGN ARCHITECTS, LLC.
CHEMINI DESIGN ARCHITECTS, LLC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT WRITTEN PERMISSION OF CHEMINI DESIGN ARCHITECTS, LLC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONNECTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATION TO THIS DOCUMENT WITHOUT WRITTEN PERMISSION OF CHEMINI DESIGN ARCHITECTS, LLC. SHALL RENDER IT INVALID AND UNUSABLE.

1. THE CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND OBTAIN NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL PAY FEES AND POST BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH ENGINEER AND ARCHITECT AS REQUIRED.

2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION MEANS AND METHODS.

3. LIMIT OF WORK SHALL BE SEGMENTATION CONTROL BARRIERS, LIMIT OF GRADING, SITE PROPERTY LINES, AND / OR AS INDICATED ON DRAWINGS.

4. PORTIONS OF THE ROADWAY, SIDEWALK, AND ROADSIDE AREA DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION PRIOR TO DISTURBANCE. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.

5. CONTRACTOR SHALL VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.

6. ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DRAWINGS.

7. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF OWNER.

8. CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN A TRENCH PERMIT PRIOR TO ANY TRENCHING ON SITE IN ACCORDANCE WITH S20 CMR 14.00.

9. FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPOSED BOUNDARIES, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCES, EASMENTS, AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.

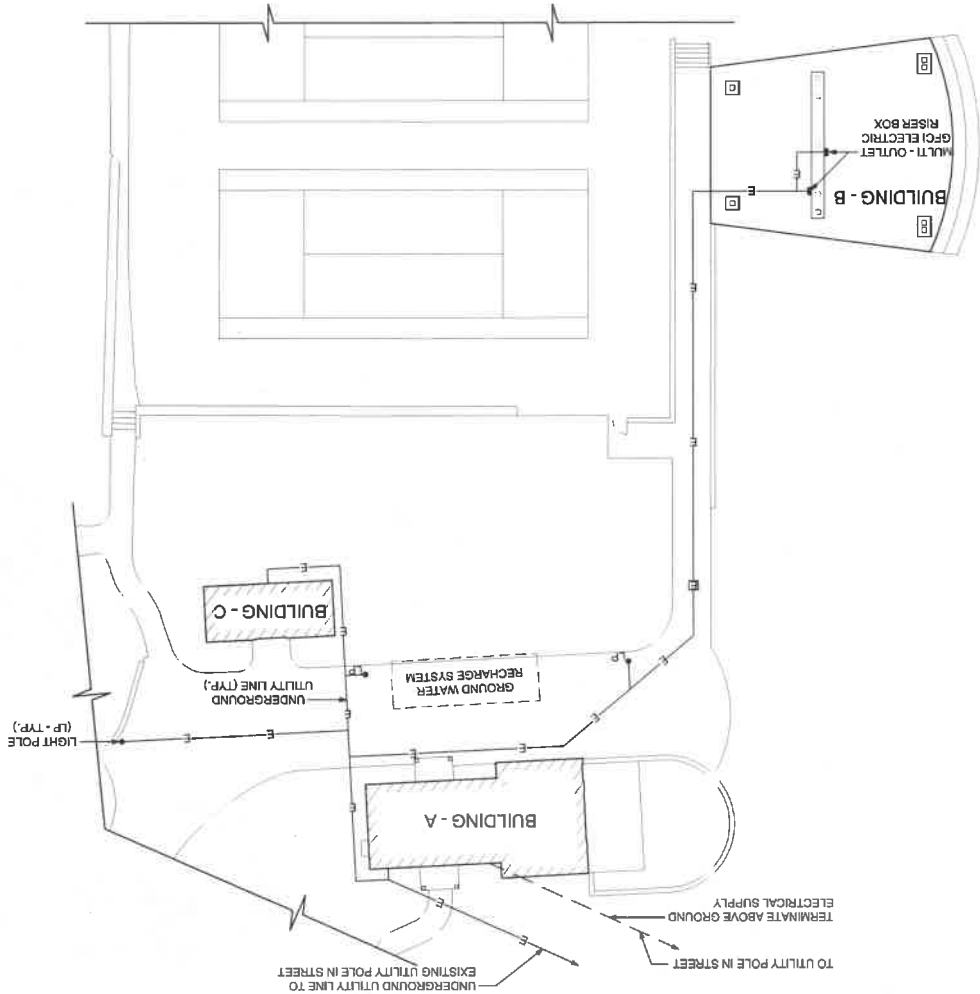
10. DIMENSIONS ON DRAWINGS ARE FINISH FACE OF PARTITIONS, COLUMNS, ETC., OR TO WHERE SHOWN, UNLESS OTHERWISE NOTED.

DO NOT SCALE DWGS

11. GC SHALL BE RESPONSIBLE FOR FIELD MEASURING OF EXISTING CONDITIONS IMMEDIATELY, FOR CLARIFICATION/COORDINATION.

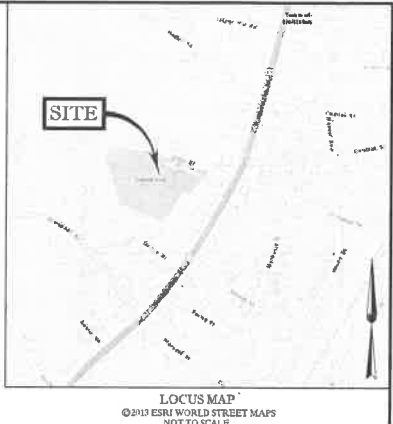
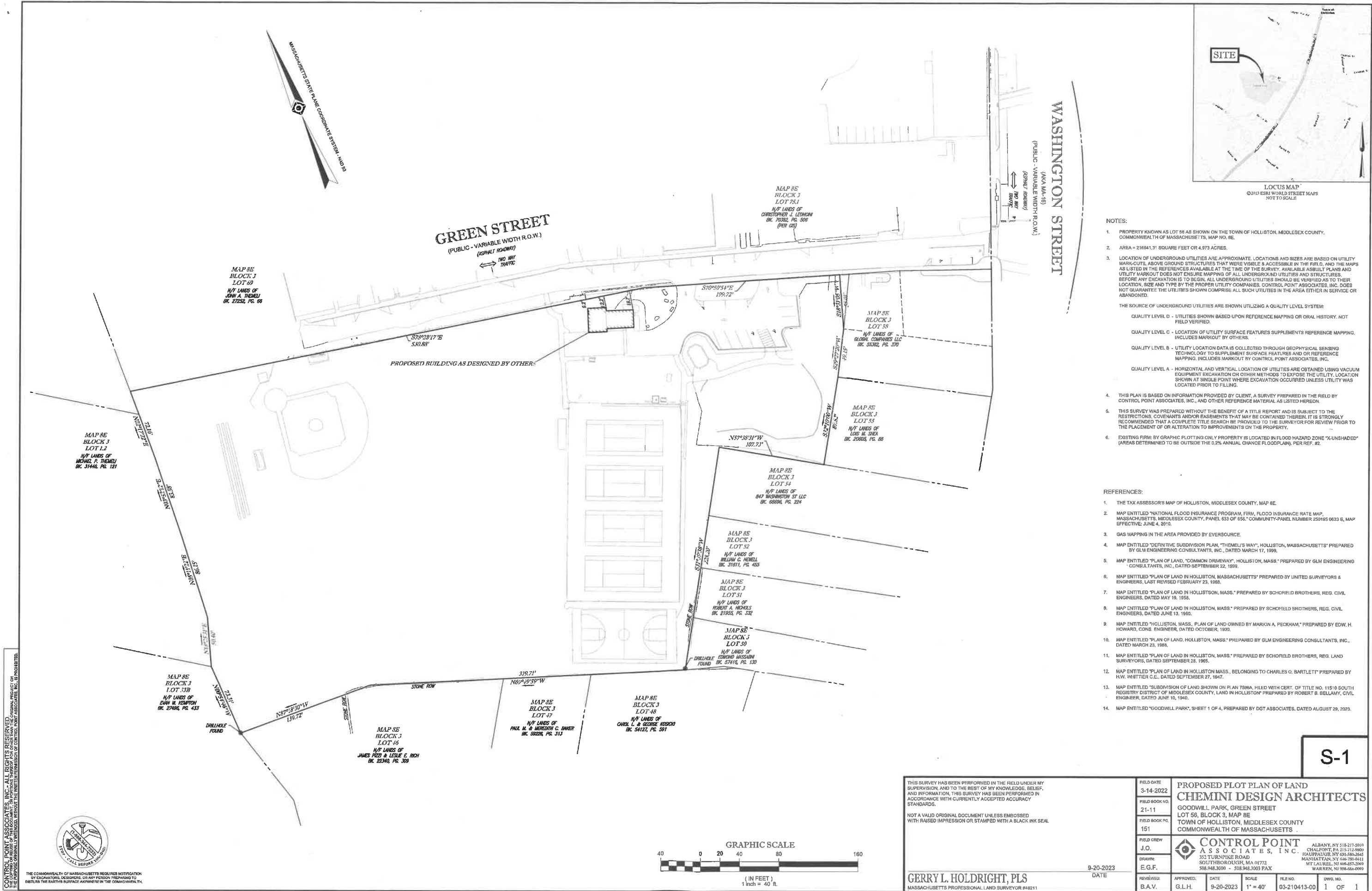
12. GC SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL(S)/RUBBISH. EACH DAY TRASH AND DEBRIS REMOVALS SHALL BE MADE AT COMPLETION OF PROJECT. GC SHALL REMOVE FROM PREMISES ALL RUBBISH, IMPEDIMENTS, AND SURPLUS MATERIALS AND LEAVE THE PREMISES "BROOM CLEAN" UNLESS OTHERWISE NOTED.

13. COORDINATE ALL ELECTRICAL AND NETWORK DATA LOCATIONS W/ OWNER



SITE ELECTRICAL SCHEMATIC

NOTE TO SCALE



- NOTES:
- PROPERTY KNOWN AS LOT 58 AS SHOWN ON THE TOWN OF HOLLISTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 8E.
 - AREA = 216841.31 SQUARE FEET OR 4.973 ACRES.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBESTUS PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
- QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
 - EXISTING FIRM: BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER REF. #2.

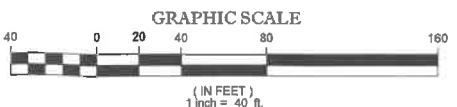
- REFERENCES:
- THE TAX ASSESSOR'S MAP OF HOLLISTON, MIDDLESEX COUNTY, MAP #E.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MASSACHUSETTS, MIDDLESEX COUNTY, PANEL 633 OF 656: 'COMMUNITY-PANEL NUMBER 259185 0633 E, MAP EFFECTIVE: JUNE 4, 2010.
 - GAS MAPPING IN THE AREA PROVIDED BY EYERSCOURE.
 - MAP ENTITLED "DEFINITIVE SUBDIVISION PLAN, 'THEMEL'S WAY', HOLLISTON, MASSACHUSETTS" PREPARED BY GLM ENGINEERING CONSULTANTS, INC., DATED MARCH 17, 1999.
 - MAP ENTITLED "PLAN OF LAND, 'COMMON DRIVEWAY', HOLLISTON, MASS.' PREPARED BY GLM ENGINEERING CONSULTANTS, INC., DATED SEPTEMBER 22, 1999.
 - MAP ENTITLED "PLAN OF LAND IN HOLLISTON, MASSACHUSETTS" PREPARED BY UNITED SURVEYORS & ENGINEERS, LAST REVISED FEBRUARY 23, 1988.
 - MAP ENTITLED "PLAN OF LAND IN HOLLISTON, MASS." PREPARED BY SCHOFIELD BROTHERS, REG. CIVIL ENGINEERS, DATED MAY 19, 1958.
 - MAP ENTITLED "PLAN OF LAND IN HOLLISTON, MASS." PREPARED BY SCHOFIELD BROTHERS, REG. CIVIL ENGINEERS, DATED JUNE 13, 1960.
 - MAP ENTITLED "HOLLISTON, MASS. PLAN OF LAND OWNED BY MARION A. PECKHAM," PREPARED BY EDW. H. HOWARD, CONS. ENGINEER, DATED OCTOBER, 1930.
 - MAP ENTITLED "PLAN OF LAND, HOLLISTON, MASS." PREPARED BY GLM ENGINEERING CONSULTANTS, INC., DATED MARCH 23, 1988.
 - MAP ENTITLED "PLAN OF LAND IN HOLLISTON, MASS." PREPARED BY SCHOFIELD BROTHERS, REG. LAND SURVEYORS, DATED SEPTEMBER 28, 1965.
 - MAP ENTITLED "PLAN OF LAND IN HOLLISTON MASS., BELONGING TO CHARLES O. BARTLETT" PREPARED BY H.W. WHITTIER C.E., DATED SEPTEMBER 27, 1947.
 - MAP ENTITLED "SUBDIVISION OF LAND SHOWN ON PLAN 7589A, FILED WITH CERT. OF TITLE NO. 11510 SOUTH REGISTRY DISTRICT OF MIDDLESEX COUNTY, LAND IN HOLLISTON" PREPARED BY ROBERT B. BELLAMY, CIVIL ENGINEER, DATED JUNE 10, 1940.
 - MAP ENTITLED "GOODWILL PARK", SHEET 1 OF 4, PREPARED BY DGT ASSOCIATES, DATED AUGUST 29, 2023.

S-1

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL.



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL.		FIELD DATE 3-14-2022		PROPOSED PLOT PLAN OF LAND CHEMINI DESIGN ARCHITECTS	
		FIELD BOOK NO. 21-11		GOODWILL PARK, GREEN STREET	
		FIELD BOOK PG. 151		LOT 58, BLOCK 3, MAP 8E	
		FIELD CREW J.O.		TOWN OF HOLLISTON, MIDDLESEX COUNTY	
		DRAWN E.G.F.		COMMONWEALTH OF MASSACHUSETTS	
		REVIEWED B.A.V.			
		DATE 9-20-2023			
		APPROVED G.L.H.			
		DATE 9-20-2023			
		SCALE 1" = 40'			
		FILE NO. 03-210413-00			
		DWG. NO. 1 OF 1			

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #48211

1. PROPERTY LINE AND TOPOGRAPHIC INFORMATION SHOWN HEREON PER PLAN TITLED "BOUNDARY, TOPOGRAPHIC & UTILITY

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES, OBSTRUCTIONS AND/OR SYSTEMS MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR LOCATING AND PROTECTING EXISTING UNDERGROUND UTILITIES AND/OR SYSTEMS WHETHER OR NOT SHOWN HEREON.
2. UNLESS OTHERWISE SHOWN HEREON, ALL NEW UTILITIES SHALL BE UNDERGROUND.
3. MINIMUM DEPTHS FOR NEW PIPES TO BE PROVIDED BY THE CONTRACTOR SHALL BE AS FOLLOWS:
TRENCHES: 3' MIN. FOR 4" OR SMALLER DIAMETER PIPES; 4' MIN. FOR 6" OR LARGER DIAMETER PIPES.
INDICATED OTHERWISE.
4. WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING UTILITIES, THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION PRIOR TO INSTALLATION AND SHALL REPORT ANY SIGNIFICANT DISCREPANCY FROM THE PLANNED INFORMATION TO THE ENGINEER.
5. EXISTING SLOPES SHALL BE MAINTAINED UNLESS OTHERWISE SHOWN.
SLOPES SHALL BE MAINTAINED IN EXCESS OF 1:20 (5%) OR CROSS SLOPES IN EXCESS OF 1:10 UNLESS OTHERWISE SHOWN.
6. WALK GRADIENTS AND CROSS SLOPES SHOWN HEREON ARE WITHIN, OR LESS THAN, THE REQUIREMENTS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD'S (MAAB) REGULATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE WORK SO THAT IT IS COMPLY WITH ALL REQUIRED REGULATIONS. NOTE THAT THE MAXIMUM GRADIENTS WITHIN THE REGULATIONS DO NOT EXCEED "CONSTRUCTION TOLERANCES," EXCEPTED IN MAXIMUM GRADIENTS IN THE REGULATIONS IS ENTERED AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL VERIFY IN WRITING THAT ALL WALKS THAT HAVE BEEN CONSTRUCTED IN COMPLIANCE WITH THE MAAB'S REGULATIONS.
7. EXISTING PAVEMENT SHALL BE MAINTAINED AS MUCH AS POSSIBLE. MEET NEW AND GRADE OF EXISTING PAVING AT LOCATIONS WHERE NEW PAVING MEETS EXISTING PAVING. THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND FINISHED SURFACE.
8. PERMITS FOR EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE AND SHALL BE MAINTAINED AS LONG AS A LUMP OF WORK, UNLESS OTHERWISE SHOWN.
9. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER. DUST CONTROL SHALL BE MAINTAINED TO PREVENT THE TRACKING OF LOAMING OR CLAY ON ADJACENT PROPERTIES.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
11. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

11. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS

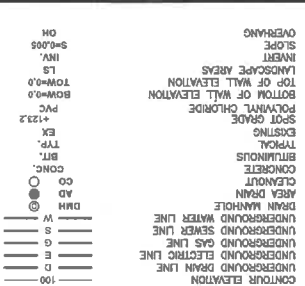
1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES, OBSTRUCTIONS AND/OR SYSTEMS MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR LOCATING AND PROTECTING EXISTING UNDERGROUND UTILITIES AND/OR SYSTEMS WHETHER OR NOT SHOWN HEREON.
2. UNLESS OTHERWISE SHOWN HEREON, ALL NEW UTILITIES SHALL BE UNDERGROUND.
3. MINIMUM DEPTHS FOR NEW PIPES TO BE PROVIDED BY THE CONTRACTOR WITH MATERIAL TOLERANCES INDICATED OTHERWISE.
4. WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING UTILITIES, THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION PRIOR TO INSTALLATION AND SHALL REPORT ANY SIGNIFICANT DISCREPANCY FROM THE PLANNED INFORMATION TO THE ENGINEER.
5. SLOPES SHALL HAVE A MAXIMUM OF 1:1 UNLESS OTHERWISE SPECIFIED.
6. VALVE GRABENTS AND CROSS SLOPES SHALL BE WITHIN OR LESS THAN THE REQUIREMENTS OF THE MICHIGAN STATE ARCHITECTURAL ACCESS BOARD'S (MSAAB) REGULATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE WORK SO THAT IT IS COMPLY WITH ALL REQUIRED REGULATIONS. NOTE THAT THE MAXIMUM GRABENT WIDTH IN THE REGULATION IS 5' IS ENTERED AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL VERIFY IN WRITING THAT ALL WALKS HAVE BEEN CONSTRUCTION IN COMPLIANCE WITH THE MSAAB'S REGULATIONS.
7. ALL NEW PAVING SHALL MEET NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND EVEN SMOOTH EDGE.
8. PERMITS FOR EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE AND SHALL SERVE AS A LUMP SUM ALLOWANCE OVERLAP.
9. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER. SEPARATE EROSION CONTROL SHALL BE MAINTAINED TO PREVENT THE TRACKING ON FLOWING OR STANDING WATER.

REGULATORY NOTES

-

1. THE INTENT OF THIS PLAN IS FOR CONTRACTOR BIDDING AND PRICING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

- PLAN INTENT
1. THE INTENT OF THIS PLAN IS FOR CONTRACTOR BIDDING AND PRICING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.



PROPOSED CONDITIONS

- | | |
|---------|---------------------------|
| | CONTINUOUS ELEVATION |
| 100 | UNDERGROUND DRAIN LINE |
| E | UNDERGROUND ELECTRIC LINE |
| G | UNDERGROUND GAS LINE |
| S | UNDERGROUND SEWER LINE |
| W | UNDERGROUND WATER LINE |
| DASH | DRAIN MANHOLE |
| AD | AREA MARK |
| ○ | CLEARANCE |
| CO | CONCRETE |
| CONC. | BUTYLMASTIC |
| TYP. | EXISTING |
| TRF. | SPOT GRADE |
| EX | POLYMER CHLORIDE |
| +12.5 | SOUP OF WALL ELEVATION |
| 70M+0.0 | LANDSCAPE AREAS |
| LS | INVERT |
| INV. | SLOPE |
| S=6.00% | OVERPASS |

SCALE: 1" = 30'

GREEN STREET
JOLLISTON, MA 01746

PROJECT TITLE:	
----------------	--

SCALE: 1" = 30'

DATE: SEPTEMBER 21, 2023

NO.	APP	DATE	DESCRIPTION

BID SET

LOT 56, BLOCK 3, MAP 8E

PARCEL ID:

LANDSCAPE ARCHITECT
STEVEN G. COSMOS
LANDSCAPE ARCHITECT
5 LONGVIEW STREET
NATICK, MA 01760

SOUTH BROOK, MA 01772

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
CONTRIBUTOR: MA 01775

SURVEYOR OF RECORD

HOLLISTON, MA 01746

ARCHITECT
CHEMINI DESIGN ARCHITECTS
325 HOPPING BROOK RD. SUITE C
325 HOPPING BROOK RD. SUITE C

WWW.DCIBSOCIETIES.COM

508-879-0030

1071 Worcester Road
Framingham, MA 01701
508-878-8888

Boston • Worcester

Engineering

Surveying & Engineering



DGT Associates