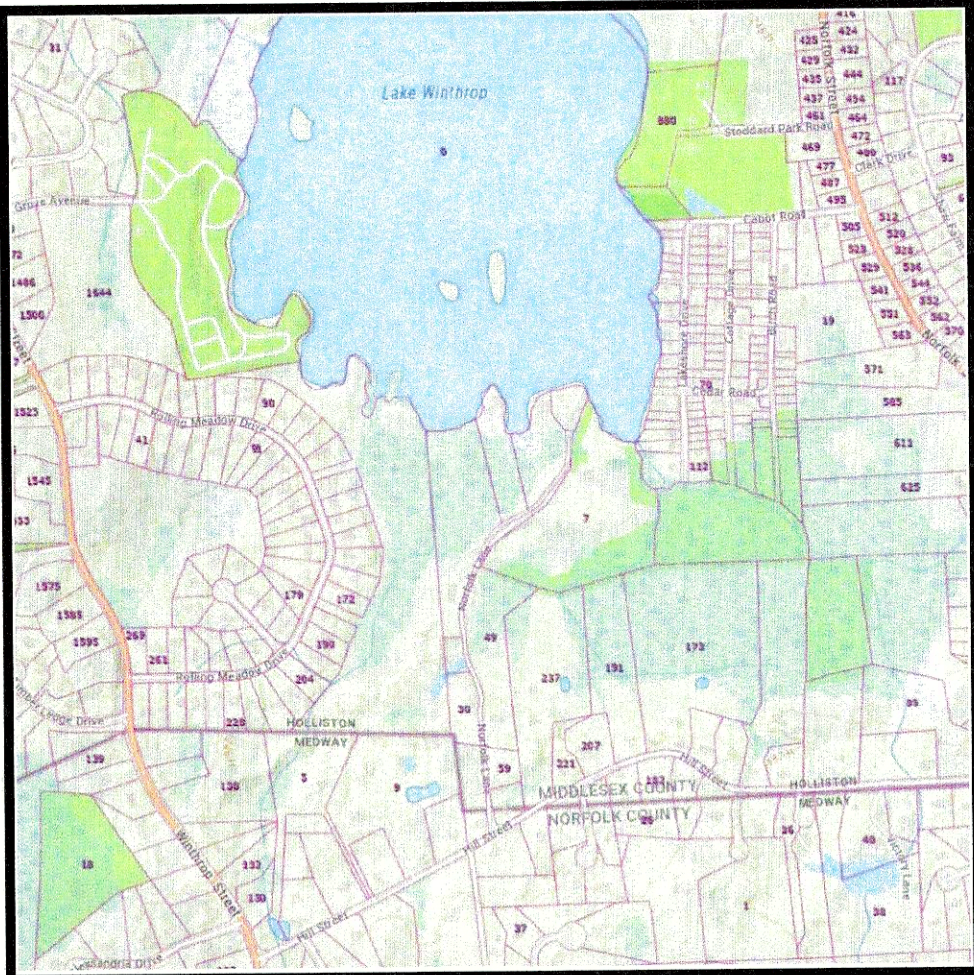
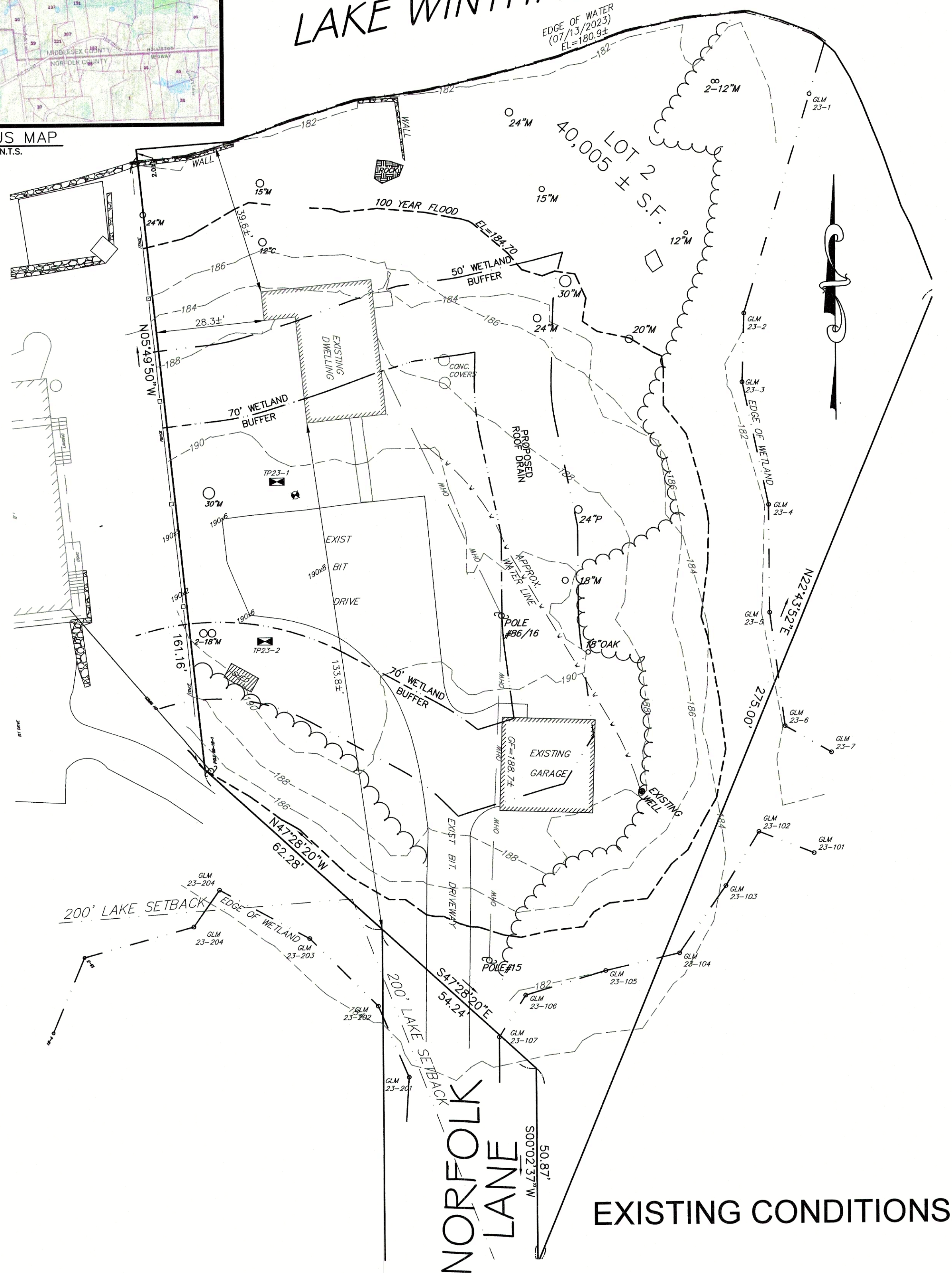




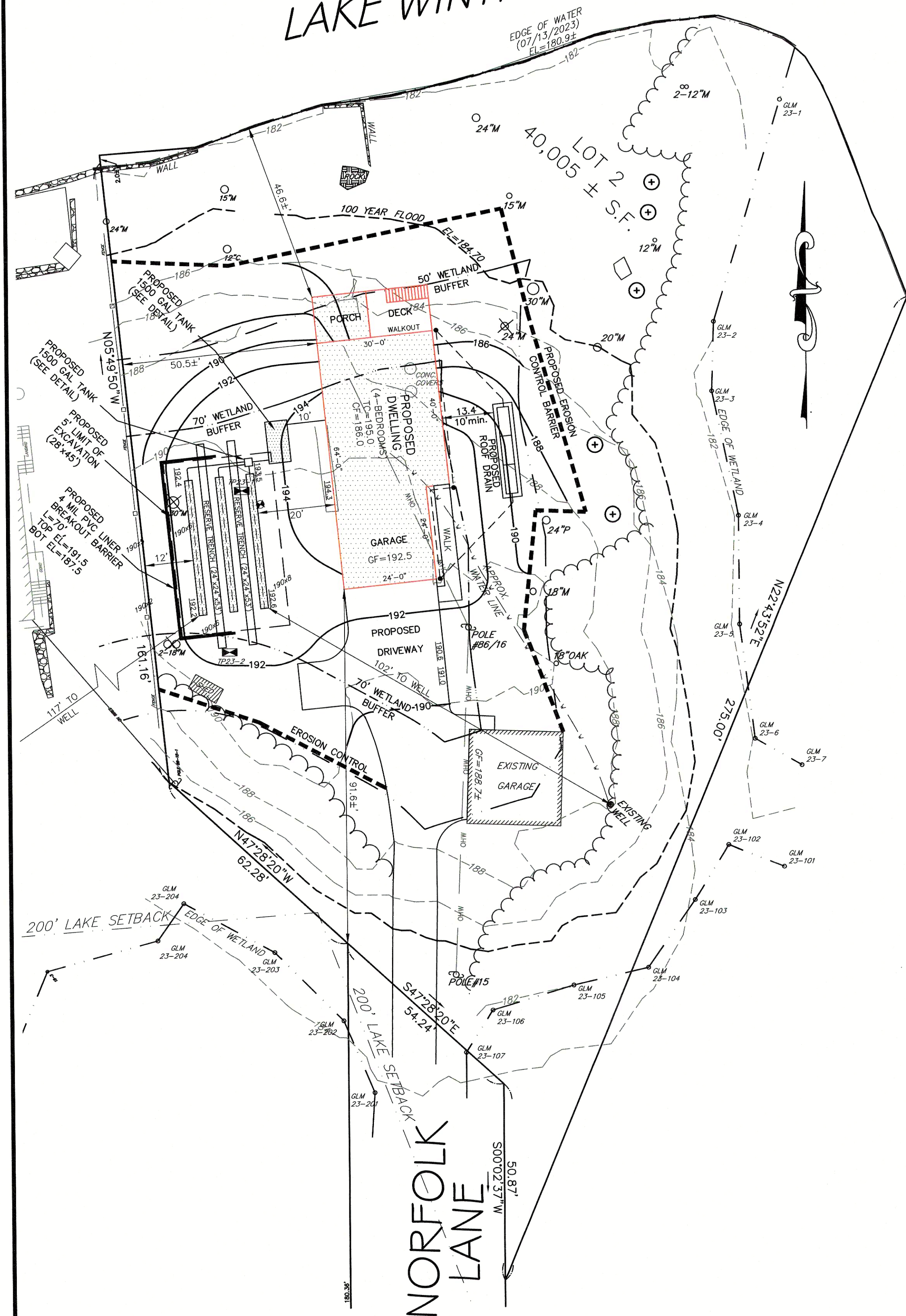
LOCUS MAP
N.T.S.

LAKE WINTHROP



EXISTING CONDITIONS

LAKE WINTHROP



PROJECT IMPACTS

EXISTING IMPERVIOUS AREA:
HOUSE: 815 S.F.
GARAGE: 590 S.F.
DRIVES/WALKS: 3,280 S.F.
TOTAL: 4,685 S.F.

PROPOSED IMPERVIOUS AREA:
HOUSE: 1,944 S.F.
GARAGE: 590 S.F.
DRIVES/WALKS: 2,350 S.F.
TOTAL: 4,884 S.F.

IMPERVIOUS (0-70' BUFFER)
EXISTING: 640 S.F.
PROPOSED: 635 S.F.

ASSESSOR'S REFERENCE:

MAP 5, BLOCK 5, LOT 16

OWNER OF RECORD:

GREG & KARIN McEWEN
1 NORFOLK LANE
HOLLISTON, MA 01746

DEED REFERENCE:

MIDDLESEX COUNTY REGISTRY OF DEEDS
Bk. 82230, Pg. 353

PLAN REFERENCE:

MIDDLESEX COUNTY REGISTRY OF DEEDS
PLAN No. 51 OF 1973

ZONING CLASSIFICATION:

AGRICULTURAL-RESIDENTIAL DIST. B (Ag-Res Dist. B)
MIN. LOT SIZE = 40,000 S.F.
MIN. FRONTAGE = 180'
= 30%

MIN. SETBACK REQUIREMENTS:

FRONT SET BACK = 40'
SIDE SETBACK = 30'
REAR SETBACK = 40'

ZONING TABLE

	MIN. REQUIRED	EXISTING	PROPOSED
AREA	40,000 S.F.	40,005 S.F.	40,005 S.F.
FRONTAGE	180'	54.24'	54.24'
SETBACKS:			
FRONT	40'	133.8'	91.6'
SIDE	30'	28.3'	50.5'
REAR	40'	39.6'	46.6'
LAKE HIGHWATER SETBACK	200'	39.6'	46.6'

PROPOSED CONDITIONS



NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

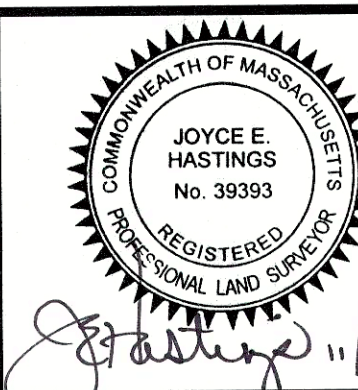
REVISIONS

No.	DATE	DESCRIPTION

FLD.: XXX

DRW.: XXX

CHKD.: XXX



GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100 F: 508-429-7160
www.GLMengineering.com

PROPOSED SITE PLAN

3 NORFOLK LANE
HOLLISTON, MASSACHUSETTS
PREPARED FOR:
GREG & KARIN McEWEN
1 NORFOLK LANE
HOLLISTON, MA 01746

JOB No. 17584
DATE: 11/30/2023
SCALE: 1"=20'
SHEET: 1 of 1
PLAN #: 27,872