

# VESTA CO-WORKING

15 Winthrop Street, Holliston, MA. 01746

**MATZ**  
COLLABORATIVE  
ARCHITECTS  
50 SPEEN STREET, SUITE 300  
FRAMINGHAM, MA. 01701

## ARCHITECTURAL ABBREVIATIONS:

**A**  
AB ANCHOR BOLT  
ABV ABOVE  
A/C AIR CONDITIONING  
ACC ACCESSIBLE  
AC. ACoustICAL  
ACT ACoustICAL TILE  
ADA AMERICANS WITH DISABILITIES  
ADD ADDENDUM  
ADDL ADDITIONAL  
A.D. AREA DRAIN  
ADJ ADJUSTABLE  
A.F.F. ABOVE FINISH FLOOR  
ALT ALTERNATE  
ALUM. ALUMINUM  
A.P. ACCESS PANEL  
APPD APPROVED  
APPROX. APPROXIMATELY  
AUD AUDITORIUM  
AUTH AUTHORIZED  
AUTO AUTOMATIC  
A/V AUDIO/VISUAL

**B**  
BD BOARD  
BITUM BITUMINOUS  
BLDG BUILDING  
BLK BLOCK  
BLKG BLOCKING  
BM BEAM  
BOD BOTTOM OF ROOF DECK  
BOT BOTTOM

**C**  
CAB CABINET  
CB CATCH BASIN  
CEM CEMENT  
CER CERAMIC  
CI CAST IRON  
CQ CORNER GUARD  
CJ CONTROL JOINT  
CLG CEILING  
CLKG CAULKING  
CLO CLOSET  
CLR CLEAR  
CMU CONCRETE MASONRY UNITS  
CO CASED OPENING  
COL COLUMN  
COMP COMPRESSIBLE  
CONC CONCRETE  
CONN CONNECTION  
CONSTR CONSTRUCTION  
CONT CONTINUOUS  
CORR CORRUGATED  
CPT CARPET  
CT CERAMIC TILE  
CTR CENTER  
CTSCK COUNTERSUNK

**D**  
DBL DOUBLE  
DEMO DEMOLITION  
DEPT DEPARTMENT  
DF DRINKING FOUNTAIN  
DET DETAIL  
DIA DIAMETER  
DIM DIMENSION  
DISP DISPENSER  
DN DOWN  
DO DOOR OPENING  
DR DOOR  
DWR DRAWER  
DS DOWNSPOUT  
DSP DRY STANDPIPE  
DWG DRAWING

**E**  
EA EAST  
EJ EACH  
EL ELEVATION  
ELEC ELECTRICAL  
ELEV ELEVATOR  
EMER EMERGENCY  
ENCL ENCLASURE  
EP ELECTRICAL PANELBOARD  
EQ EQUAL  
EQPM EQUIPMENT  
EWC ELECTRIC WATER COOLER  
EXST EXISTING  
EXPO EXPOSED  
EXP EXPANSION  
EXT EXTERIOR

**F**  
FA FIRE ALARM  
FD FLOOR DRAIN  
FDN FOUNDATION  
FE FIRE EXTINGUISHER  
FEC FIRE EXTINGUISHER CABINET  
FHC FIRE HOSE CABINET  
FF FINISH FLOOR  
FIN FINISH  
FL FLOOR  
FLASH FLASHING  
FLUOR FLUORESCENT  
FM FLOOR MAT  
FMRC FIBERGLASS MESH  
FOC FACE OF CONCRETE  
FDF FACE OF FINISH  
FDS FACE OF STUD  
FRFF FIREPROOF  
FR FIRE RATED  
FRP FIBERGLASS REINFORCED PLASTIC  
FS FULL SIZE  
FT FOOT OR FEET  
FTG FOOTING  
FURR FURRING  
FUT FUTURE

**G**  
GALV GALVANIZED  
GB GRAB BAR  
GL GLASS  
GL BLK GLASS BLOCK  
GND GROUND  
GR GRADE  
GWB GYPSUM WALL BOARD  
GYP GYPSUM

**H**  
HAND HANDICAPPED  
HB HOSE BIB  
HC HOLLOW CORE  
HDWD HARDWOOD  
HDWE HARDWARE  
HM HOLLOW METAL  
HORIZ HORIZONTAL  
HR HOUR  
HGT HEIGHT

**I**  
ID INSIDE DIAMETER  
IN. INCHES  
INC. INCUBATOR  
INCL INCLUDING OR INCLUDED  
INSUL INSULATION  
INT INTERIOR  
INV INVERT

**J**  
JAN CL JANITOR CLOSET  
JT JOINT

**K**  
KIT KITCHEN  
KO KNOCKOUT  
KS KNEE SPACE

**L**  
LAB LABORATORY  
LAM LAMINATE  
LAV LAVATORY  
LMF LIGHTGAGE METAL FRAMING  
LH LEFT HAND  
LIN LINOLEUM  
LOCKER LOCKER  
LOC LOCATION  
LP LOW POINT  
LS LIGHT SWITCH  
LT WT LIGHT WEIGHT  
LB (#) POUNDS

**M**  
MACH MACHINE  
MAS MASONRY  
MAT WALK-OFF MAT  
MATL MATERIAL  
MAX MAXIMUM  
MECH MECHANICAL  
MEMB MEMBRANE  
MFR MANUFACTURER  
MH MANHOLE  
MIN MINIMUM  
MSC MISCELLANEOUS  
MO MASONRY OPENING  
MLDG MOLDING  
MR MOISTURE RESISTANT  
MTD MOUNTED  
MTL METAL  
MUL MULLION

**N**  
N NORTH  
NC NON-CORROSIVE  
NIC NOT IN CONTRACT  
NIH NATIONAL INSTITUTES OF HEALTH  
NO (#) NUMBER  
NOM NOMINAL  
NTS NOT TO SCALE

**O**  
OA OVER ALL  
OC ON CENTER  
OD OUTSIDE DIAMETER  
OFF OFFICE  
OFCI OWNER FURNISHED, CONTRACTOR INSTALLED  
OFIO OWNER FURNISHED, OWNER INSTALLED  
OH OPPOSITE HAND  
OPNG OPENING  
OPP OPPOSITE  
OVHD OVERHEAD  
OZ OUNCE

**P**  
PART PARTITION  
PC PRECAST  
PCT PORCELAIN CERAMIC TILE  
PE PORCELAIN ENAMEL  
PERIM PERIMETER  
PERF PERFORATED  
PL PLATE  
P.LAM PLASTIC LAMINATE  
PLAS PLASTER  
PLYWD PLYWOOD  
PM PRESSED METAL  
POL POLISHED  
PR PAIR  
PSI POUNDS PER SQUARE INCH  
PT PAVEMENT  
PT POINT  
PTD PAINTED  
PVC POLY VINYL CHLORIDE

**Q**  
QT QUARRY TILE  
QTY QUANTITY

**R**  
RISER  
RA RETURN AIR  
RAD RADIUS  
RB RESILIENT BASE  
RCP REFLECTED CEILING PLAN  
RD ROOF DRAIN  
REF REFERENCE  
REINF REINFORCED  
REM REMOVE  
REQD REQUIRED  
RESIL RESILIENT  
REV REVISION  
RF RESILIENT FLOORING  
RH RIGHT HAND  
RM ROOM  
RO ROUGH OPENING  
ROW RIGHT OF WAY  
RTU ROOF TOP UNIT

**S**  
SOUTH  
SB SINK BASE  
SC SOLID CORE  
SCHED SCHEDULE  
SECT SECTION  
SF SEAMLESS FLOORING  
SG SOUND GASKET  
SH SHELF  
SHT SHEET  
SIM SIMILAR  
SOH SIMILAR OPPOSITE HAND  
SPEC SPECIFICATION  
SQ SQUARE  
SS STAINLESS STEEL  
ST STREET  
STA STATION  
STD STANDARD  
STL STEEL  
STOR STORAGE  
STRUCT STRUCTURAL  
SUSP SUSPENDED  
SYM SYMMETRICAL  
SYS SYSTEM

**T**  
TB TACK BOARD  
TEL TELEPHONE  
TEMP TEMPERATURE/TEMPERED/TEMPORARY  
TER TERRAZZO  
T&G TONGUE & GROOVE  
THK THICKNESS  
THR THRESHOLD  
THRU THROUGH  
TLT TOILET  
TO TOP OF  
TOC TOP OF CONCRETE  
TOP TOP OF PARAPET  
TOS TOP OF STEEL  
TOW TOP OF WALL  
TYP TYPICAL

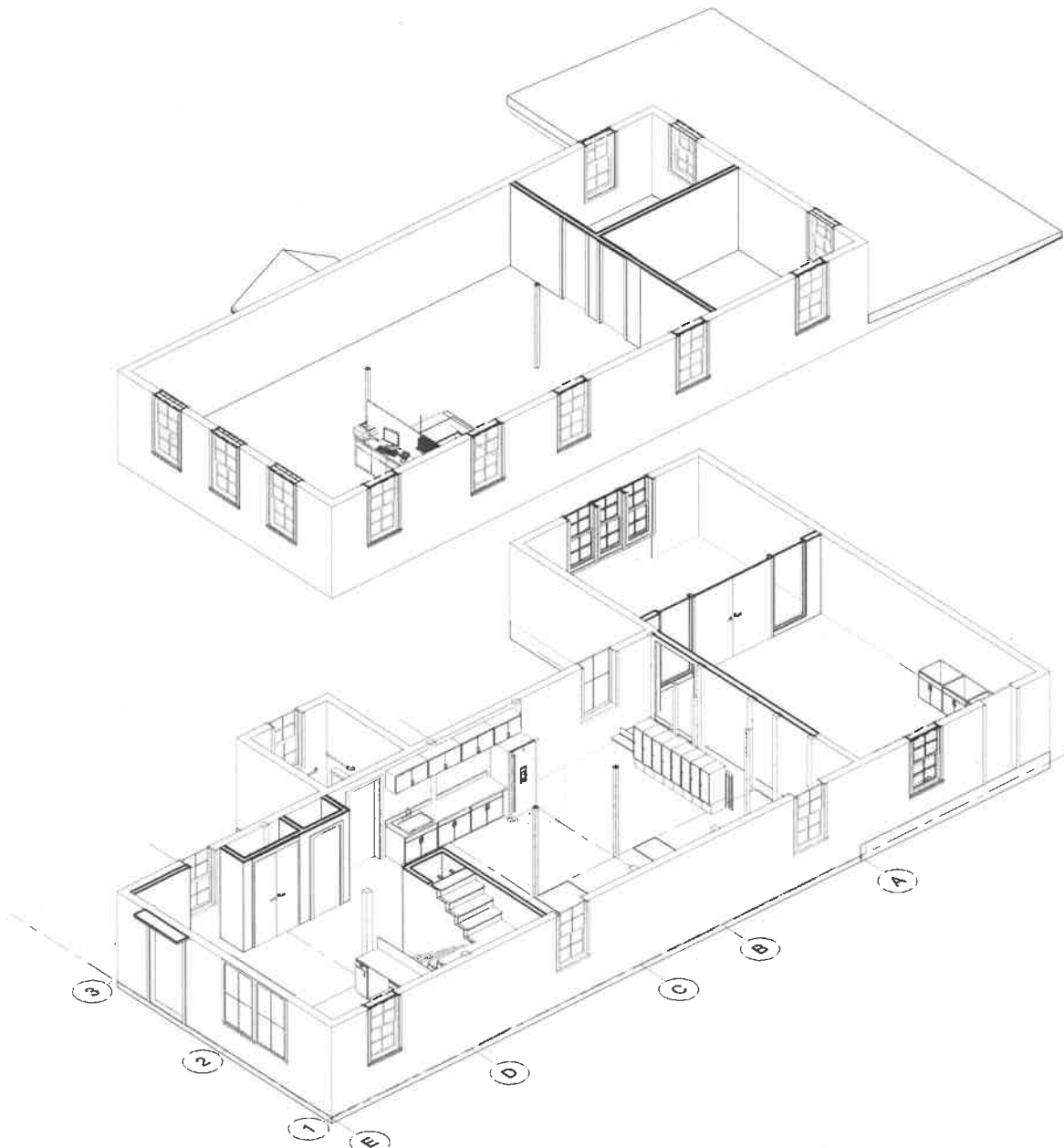
**U**  
UL UNDERWRITER LABORATOR  
UNF UNFINISHED  
UNLN UNLESS OTHERWISE NOTED  
UR URINAL

**V**  
V VENEER  
VAR VARIES  
VAT VINYL ASBESTOS TILE  
VCT VINYL COMPOSITION TILE  
VERT VERTICAL  
VEST VESTIBULE  
VEND VENDOR FURNISHED, VENDOR INSTALLED  
VF VENTILATION  
VNL VINYL  
VOL VOLUME  
VTL VINYL TILE  
VTR VENT THROUGH ROOF  
VWC VINYL WALL COVERING

**W**  
W WEST  
W WIDTH  
W WITH  
WB WOOD BASE  
WC WATER CLOSET  
WD WOOD  
WH WALL HUNG  
WM WIREMOLD  
WIO WITHOUT  
WP WATERPROOF  
WSCT WAINSCOT  
WT WEIGHT  
WWF WELDED WIRE FABRIC  
WWW WELDED WIRE MESH

**Y**  
YD YARD  
AND AND  
L ANGLE  
AT CENTERLINE  
# POUND OR NUMBER  
(E) EXISTING

## Symbols



1 First Floor

## PROJECT TEAM:

**ARCHITECT**  
MATZ COLLABORATIVE ARCHITECTS, INC.  
50 SPEEN STREET  
SUITE 300  
FRAMINGHAM, MA. 01701

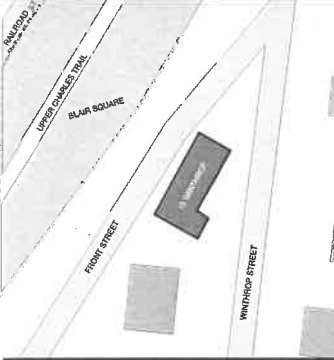
**STRUCTURAL**  
SEACOAST STRUCTURAL ENGINEERS LLC  
PO BOX 991  
EXETER, NH. 03833

## DRAWING LIST:

**ARCHITECTURAL**  
G001 - COVER  
D100 - DEMO LEVEL 1  
D101 - DEMO LEVEL 2  
A100 - FIRST FLOOR PLAN  
A101 - SECOND FLOOR PLAN  
A102 - FIRST FLOOR REFLECTED CEILING PLAN  
A103 - SECOND FLOOR REFLECTED CEILING PLAN  
A200 - EXTERIOR ELEVATIONS  
A201 - EXTERIOR ELEVATIONS  
A300 - WALL SECTIONS  
A500 - STAIR DETAILS

**STRUCTURAL**  
S001 - STRUCTURAL NOTES  
S101 - 1ST FLOOR MODIFICATION PLANS  
S102 - 2ND FLOOR AND ROOF MODIFICATION PLANS  
S103 - ROOF MODIFICATION PLAN  
S201 - STRUCTURAL WALL ELEVATION - MODIFICATIONS  
S202 - STRUCTURAL WALL SECTION MODIFICATIONS  
S301 - FOUNDATION AND FRAMING SECTIONS

## LOCUS PLAN:



This document is the Intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.

Copyright 2023 © Matz Collaborative Architects, Inc.

Client  
**Vesta Real Estate**  
15 Winthrop Str.  
Holliston Ma

Consultant

Project  
**Vesta Co-Working**

Location:  
15 Winthrop Street  
Holliston, MA. 01746

MCA Project #:  
22-035

Stamp

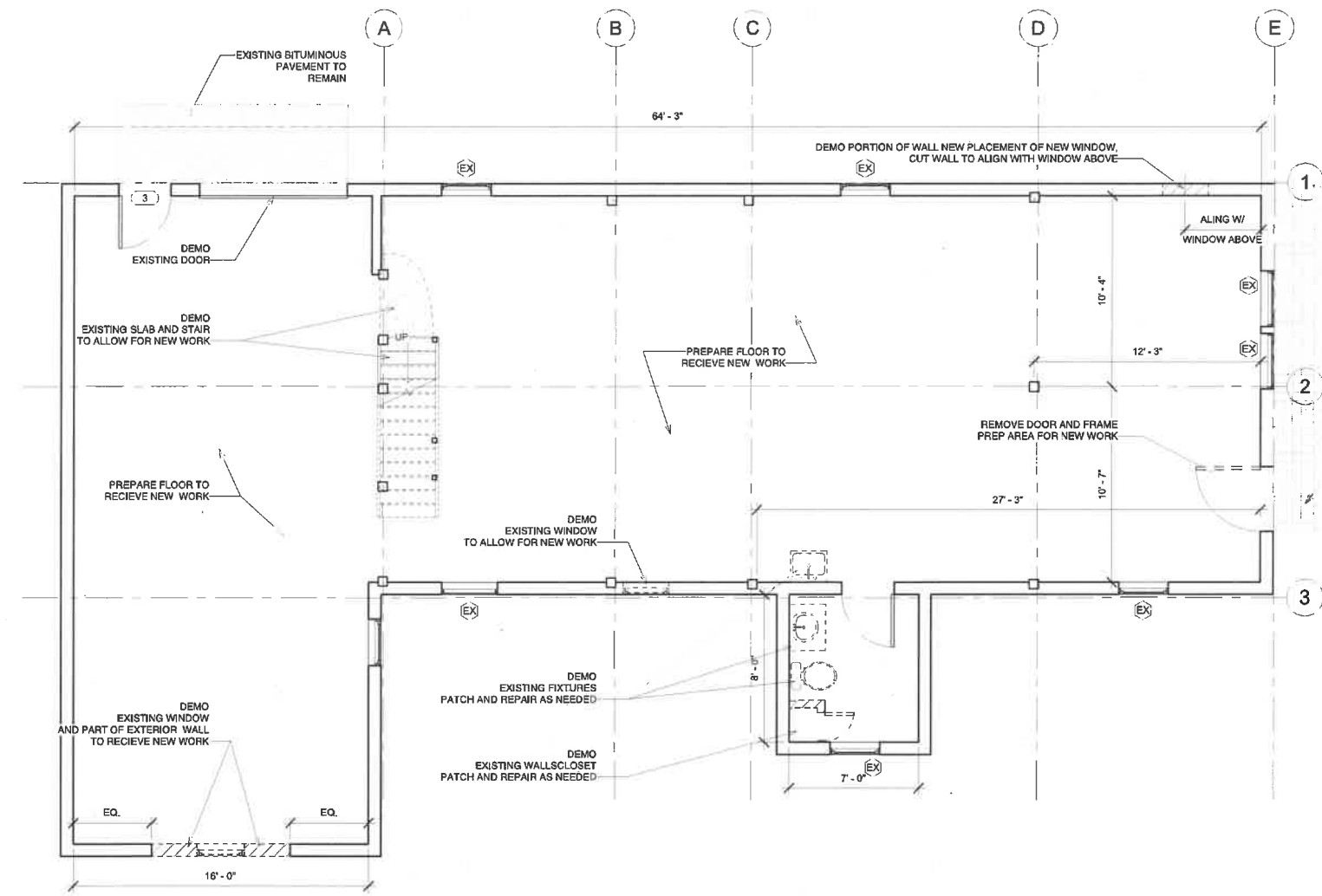
Document shall not be used for construction or to obtain building permits without stamp and signature.

Revisions  
No. Date Revision

Drawing  
Cover

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

**G100**



1 1st Floor Demolition Plan  
1/4" = 1'-0"

- DEMOLITION NOTES:**
1. SEE DRAWINGS FOR AREAS OF WORK AND SCOPE OF ITEMS TO BE REMOVED.
  2. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD.
  3. SEE MEP / FP/FA DOCUMENTS FOR RELATED DEMOLITION SCOPE.
  4. ALL MECHANICAL AND ELECTRICAL SERVICE LINES TO BE REMOVED SHALL BE CUT OFF BY THEIR RESPECTIVE TRADES.
  5. DEMOLITION CONTRACTOR TO COORDINATE REMOVALS WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
  6. ALL EXISTING STRUCTURAL ITEMS TO REMAIN. REMOVE NO MATERIAL OR ELEMENT WHICH PROVIDES SUPPORT OR STRUCTURE FOR OTHER PORTIONS OF THE BUILDING WITHOUT FIRST NOTIFYING THE ARCHITECT. IN THE EVENT THAT A STRUCTURAL ELEMENT NEEDS TO BE REMOVED, AND IS APPROVED BY THE OWNER, ARCHITECT, AND A REGISTERED STRUCTURAL ENGINEER, TEMPORARY SHORING OR BRACING MUST BE PROVIDED AND PERMANENT SUPPORT INSTALLED PRIOR TO THE REMOVAL OF THE SUPPORT ELEMENT. GC TO PROVIDE ALL STRUCTURAL ENGINEERING FOR SHORING AND TO SUBMIT CALCULATIONS AND DRAWINGS TO THE ARCHITECT FOR APPROVAL.
  7. NOTIFY OWNER PROJECT MANAGER 14 DAYS IN ADVANCE OF ANY INTENDED SHUTDOWNS OF EXISTING SYSTEMS OF ANY SORT. NOTIFY OWNER PROJ. MANAGER 14 DAYS IN ADVANCE OF REQUIRED ACCESS TO ADJACENT SPACES WHERE WORK IS TO BE PERFORMED. OWNER PROJECT MANAGER TO CONFIRM WITH USERS TIME AND DURATION OF SHUTDOWNS AND REQUIRED ACCESS TO ADJACENT SPACES AND TO INFORM CONTRACTOR IN WRITING OF APPROVAL OF ALL SHUTDOWNS AND WORK ACCESS TO SPACES.
  8. DURING DEMOLITION MAINTAIN FIRE RATING AT REMAINING STRUCTURAL ELEMENTS, BEAMS & FLOOR SLABS. EXISTING FIRE RATED ASSEMBLIES DAMAGED DURING CONSTRUCTION MUST BE REPAIRED AND CONFORM TO CURRENT FIRE PROTECTION STANDARDS. OPENINGS IN CONCRETE SLABS TO BE INFILLED. SEE STRUCTURAL.
  9. THE GENERAL CONTRACTOR SHALL BE REQUIRED TO PROPERLY REMOVE AND DISPOSE OF ALL PCB CONTAINING AND NON-PCB CDBETHYLEXHL PHTHALATE (DEHP) CONTAINING BALLASTS AND MERCURY CONTAINING LAMPS LOCATED WITHIN THE WORK AREAS SUBJECT TO RENOVATION ACTIVITIES OUTLINED BY THE DRAWINGS. ALL BALLASTS AND LAMPS SHALL BE REMOVED BY PROPERLY TRAINED PERSONNEL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ALL MATERIALS SHALL BE PROPERLY PACKAGED, TRANSPORTED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL PROVIDE A SUBMITTAL THAT DETAILS THE WORK PROCEDURES TO BE IMPLEMENTED FOR REMOVAL, PACKAGING TRANSPORT AND DISPOSAL OF THE MATERIALS.
  10. COORDINATE WITH OWNER REGARDING ALL ITEMS SCHEDULED TO BE SLAVAGED OR STORED FOR REUSE PRIOR TO DEMOLITION.
  11. GC TO INFILL HOLES IN FLOORING, WALLS AND SLAB WHERE FLOOR, WALLS, AND MEP EQUIPMENT ARE REMOVED, AND MATCH EXISTING FIRE RATINGS.

This document is the intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.

Copyright 2023 ©  
Matz Collaborative Architects, Inc.

Client  
**Vesta Real Estate**  
15 Winthrop Str.  
Holliston Ma

Consultant

Project  
**Vesta**  
Co-Working

Location:  
15 Winthrop Street  
Holliston, MA. 01746

MCA Project #:  
22-035  
Stamp

Document shall not be used for construction or to obtain building permits without stamp and signature.

Revisions  
No. Date Revision

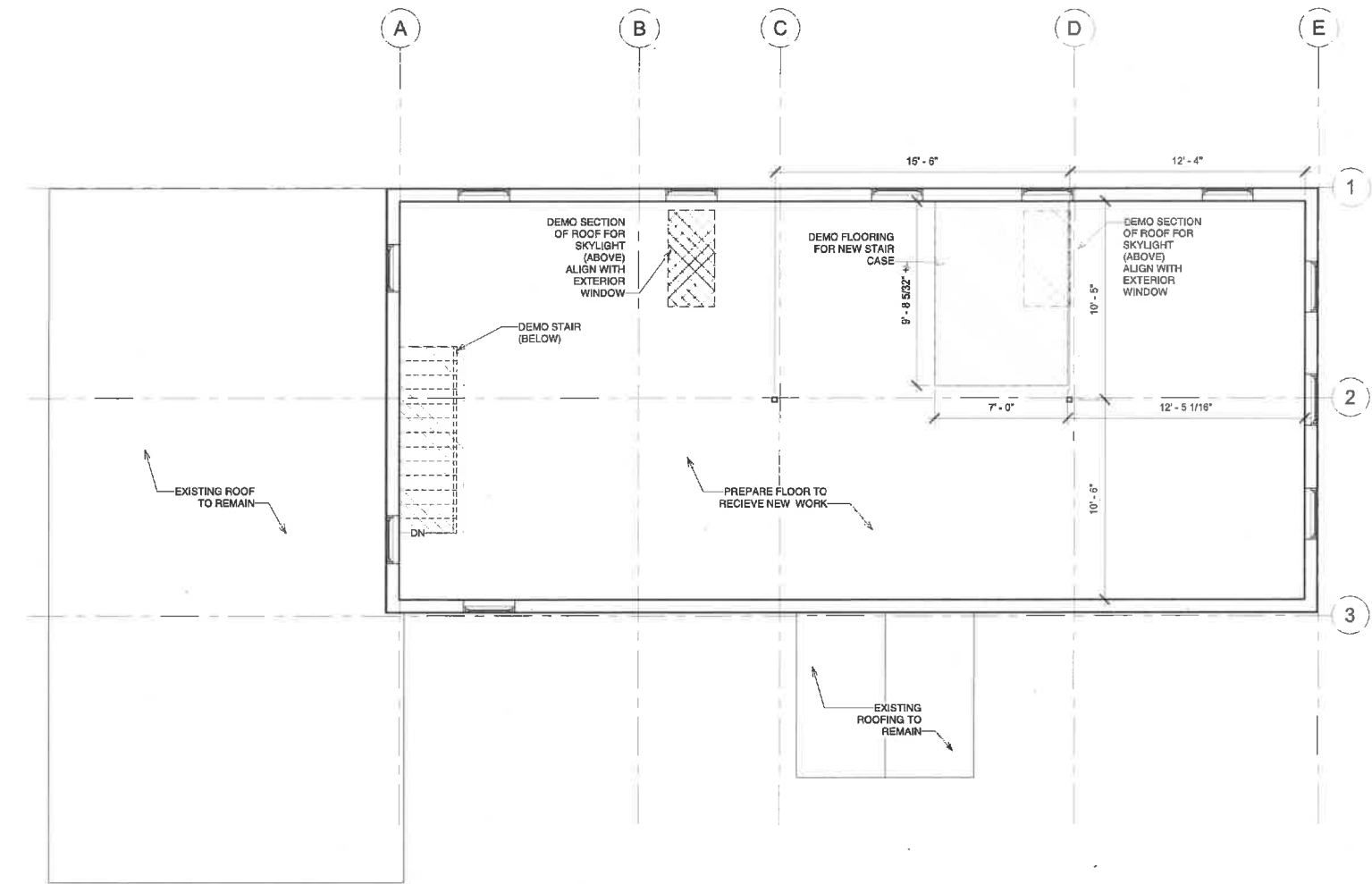
Drawing  
**Demo Level 1**

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

**D100**

DEMOLITION NOTES:

1. SEE DRAWINGS FOR AREAS OF WORK AND SCOPE OF ITEMS TO BE REMOVED.
2. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD.
3. SEE MEP / PPIFA DOCUMENTS FOR RELATED DEMOLITION SCOPE.
4. ALL MECHANICAL AND ELECTRICAL SERVICE LINES TO BE REMOVED SHALL BE CUT OFF BY THEIR RESPECTIVE TRADES.
5. DEMOLITION CONTRACTOR TO COORDINATE REMOVALS WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
6. ALL EXISTING STRUCTURAL ITEMS TO REMAIN. REMOVE NO MATERIAL OR ELEMENT WHICH PROVIDES SUPPORT OR STRUCTURE FOR OTHER PORTIONS OF THE BUILDING WITHOUT FIRST NOTIFYING THE ARCHITECT. IN THE EVENT THAT A STRUCTURAL ELEMENT NEEDS TO BE REMOVED, AND IS APPROVED BY THE OWNER, ARCHITECT, AND A REGISTERED STRUCTURAL ENGINEER, TEMPORARY SHORING OR BRACING MUST BE PROVIDED AND PERMANENT SUPPORT INSTALLED PRIOR TO THE REMOVAL OF THE SUPPORT ELEMENT. GC TO PROVIDE ALL STRUCTURAL ENGINEERING FOR SHORING AND TO SUBMIT CALCULATIONS AND DRAWINGS TO THE ARCHITECT FOR APPROVAL.
7. NOTIFY OWNER PROJECT MANAGER 14 DAYS IN ADVANCE OF ANY INTENDED SHUTDOWNS OF EXISTING SYSTEMS OF ANY SORT. NOTIFY OWNER PROJ. MANAGER 14 DAYS IN ADVANCE OF REQUIRED ACCESS TO ADJACENT SPACES WHERE WORK IS TO BE PERFORMED. OWNER PROJECT MANAGER TO CONFIRM WITH USERS TIME AND DURATION OF SHUTDOWNS AND REQUIRED ACCESS TO ADJACENT SPACES AND TO INFORM CONTRACTOR IN WRITING OF APPROVAL OF ALL SHUTDOWNS AND WORK ACCESS TO SPACES.
8. DURING DEMOLITION MAINTAIN FIRE RATING AT REMAINING STRUCTURAL ELEMENTS, BEAMS & FLOOR SLABS. EXISTING FIRE RATED ASSEMBLIES DAMAGED DURING CONSTRUCTION MUST BE REPAIRED AND CONFORM TO CURRENT FIRE PROTECTION STANDARDS. OPENINGS IN CONCRETE SLABS TO BE INFILLED. SEE STRUCTURAL.
9. THE GENERAL CONTRACTOR SHALL BE REQUIRED TO PROPERLY REMOVE AND DISPOSE OF ALL PCB CONTAINING AND NON-PCB CADIETHYLEXIL PHTHALATE (DEHP) CONTAINING BALLASTS AND MERCURY CONTAINING LAMPS LOCATED WITHIN THE WORK AREAS SUBJECT TO RENOVATION ACTIVITIES OUTLINED BY THE DRAWINGS. ALL BALLASTS AND LAMPS SHALL BE REMOVED BY PROPERLY TRAINED PERSONNEL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ALL MATERIALS SHALL BE PROPERLY PACKAGED, TRANSPORTED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL PROVIDE A SUBMITTAL THAT DETAILS THE WORK PROCEDURES TO BE IMPLEMENTED FOR REMOVAL, PACKAGING TRANSPORT AND DISPOSAL OF THE MATERIALS.
10. COORDINATE WITH OWNER REGARDING ALL ITEMS SCHEDULED TO BE SLAVAGED OR STORED FOR REUSE PRIOR TO DEMOLITION.
11. GC TO INFILL HOLES IN FLOORING, WALLS AND SLAB WHERE FLOOR, WALLS, AND MEP EQUIPMENT ARE REMOVED, AND MATCH EXISTING FIRE RATING.



2nd Floor Demolition Plan  
1/4" = 1'-0"

This document is the intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.

Copyright 2023 ©  
Matz Collaborative Architects, Inc.

Client:  
**Vesta Real Estate**  
15 Winthrop Str.  
Holliston Ma

Consultant:

Project:  
**Vesta**  
**Co-Working**

Location:  
15 Winthrop Street  
Holliston, MA. 01746

MCA Project #:  
22-035

Stamp

Document shall not be used for construction or to obtain building permits without stamp and signature.

Revisions  
No. Date Revision

Drawing  
**Demo Level 2**

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

**D101**

# GENERAL NOTES:

1. THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
2. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
3. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AREAS ADJACENT TO WORK BEING PERFORMED DAMAGED DURING CONSTRUCTION. MAKE CLEAN CUTS, PATCH AND REPAIR AT EDGE CONDITIONS OF EXISTING TO REMAIN AND NEW WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TO REMAIN DURING CONSTRUCTION. EXISTING LANDSCAPING, EXISTING BUILDINGS AND ADJACENT WORK SHALL BE PROTECTED AS REQUIRED DURING ALL PHASES OF CONSTRUCTION. NO ALLOWANCES WILL BE GIVEN FOR DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING TO REMAIN.

**MATZ**  
COLLABORATIVE  
ARCHITECTS  
50 SPEEN STREET, SUITE 300  
FRAMINGHAM, MA. 01701

This document is the intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.

Copyright 2023 ©  
Matz Collaborative Architects, Inc.

Client  
**Vesta Real Estate**  
15 Winthrop Str.  
Holliston Ma

Consultant

Project  
**Vesta**  
Co-Working

Location:  
15 Winthrop Street  
Holliston, MA. 01746

MCA Project #:  
22-035

Stamp

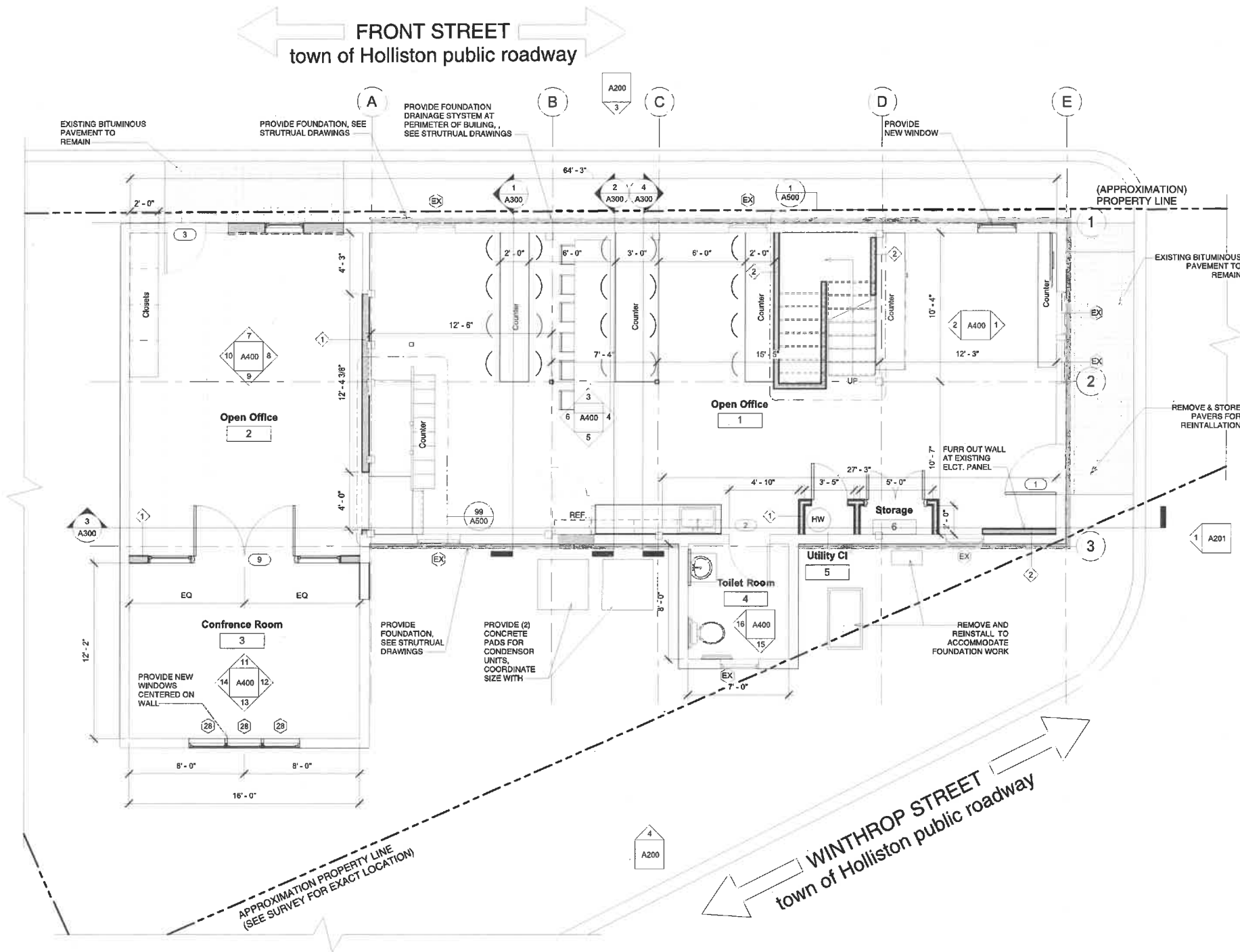
Document shall not be used for construction or to obtain building permits without stamp and signature.

Revisions  
No. Date Revision

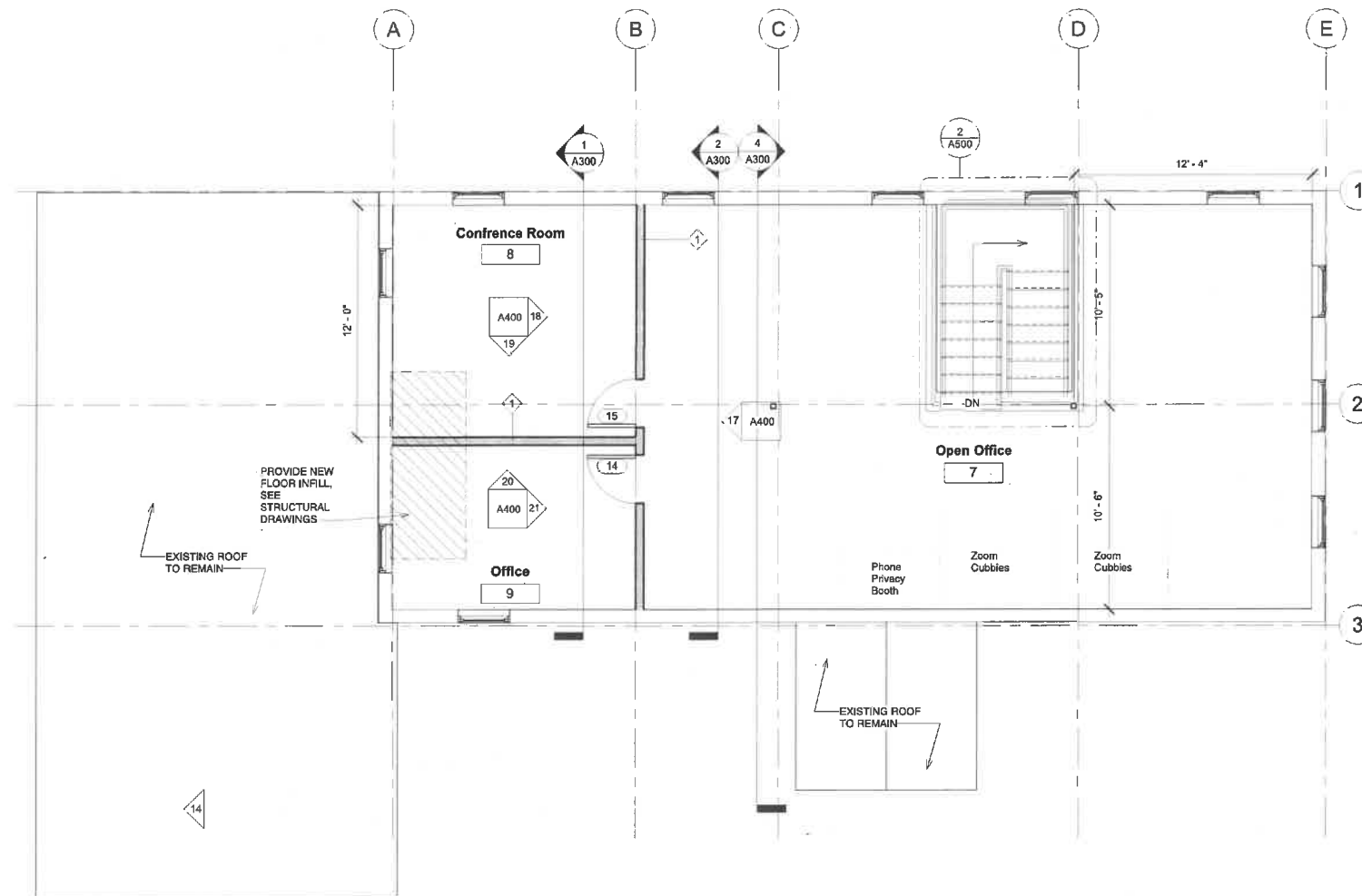
Drawing  
First Floor Plan

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

**A100**



9 1st Floor Plan  
1/4" = 1'-0"



10 2nd Floor Plan  
1/4" = 1'-0"

## GENERAL NOTES:

1. THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
2. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
3. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AREAS ADJACENT TO WORK BEING PERFORMED DAMAGED DURING CONSTRUCTION. MAKE CLEAN CUTS, PATCH AND REPAIR AT EDGE CONDITIONS OF EXISTING TO REMAIN AND NEW WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TO REMAIN DURING CONSTRUCTION. EXISTING LANDSCAPING, EXISTING BUILDINGS AND ADJACENT WORK SHALL BE PROTECTED AS REQUIRED DURING ALL PHASES OF CONSTRUCTION. NO ALLOWANCES WILL BE GIVEN FOR DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING TO REMAIN.

**MATZ**  
COLLABORATIVE  
ARCHITECTS  
50 SPEEN STREET, SUITE 300  
FRAMINGHAM, MA. 01701

This document is the intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.

Copyright 2023 ©  
Matz Collaborative Architects, Inc.

Client  
**Vesta Real Estate**  
15 Winthrop Str.  
Holliston Ma

Consultant

Project  
**Vesta**  
Co-Working

Location:  
15 Winthrop Street  
Holliston, MA. 01746

MCA Project #:  
22-035

Stamp

Document shall not be used for construction or to obtain building permits without stamp and signature.

Revisions  
No. Date Revision

Drawing  
**Second Floor Plan**

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

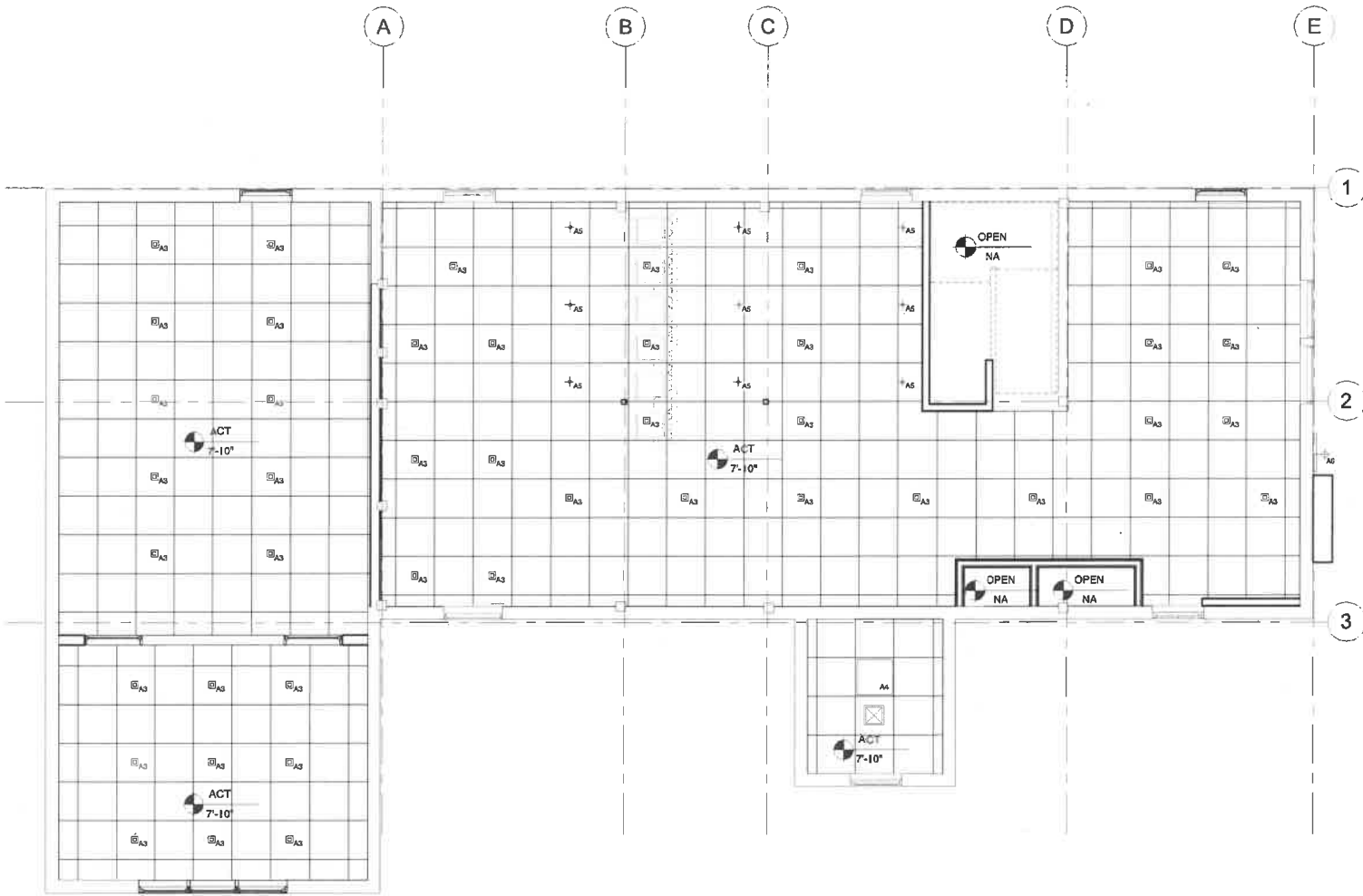
**A101**

GENERAL NOTES:

1. THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
2. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
3. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AREAS ADJACENT TO WORK BEING PERFORMED DAMAGED DURING CONSTRUCTION. MAKE CLEAN CUTS, PATCH AND REPAIR AT EDGE CONDITIONS OF EXISTING TO REMAIN AND NEW WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TO REMAIN DURING CONSTRUCTION. EXISTING LANDSCAPING, EXISTING BUILDINGS AND ADJACENT WORK SHALL BE PROTECTED AS REQUIRED DURING ALL PHASES OF CONSTRUCTION. NO ALLOWANCES WILL BE GIVEN FOR DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING TO REMAIN.

RCP NOTES:

- 2X4 ACOUSTICAL CEILING TILE
- GYPSUM WALL BOARD CEILING
- ACT 7'-10" FINISH CEILING HEIGHT A.F.F. & MATERIAL FOR NEW CEILINGS
- NEW 4"x48" PENDENT LIGHT
- NEW CHANDELIER LIGHT
- NEW 4" RECESSED DOWNLIGHT
- NEW 24"x24" LIGHT IN ACT GRID
- NEW LED PENDANT LIGHT FIXTURE
- NEW WALL MOUNTED FRONT DOOR LIGHT
- HVAC RETURN
- 1" BAFFLES



1st Floor Reflected Ceiling Plan  
1/4" = 1'-0"

This document is the intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.

Copyright 2023 ©  
Matz Collaborative Architects, Inc.

Client  
**Vesta Real Estate**  
15 Winthrop Str.  
Edward Daniels  
15 Winthrop Street  
Holliston, MA. 01746

Consultant

Project  
**Vesta**  
Co-Working

Location:  
15 Winthrop Street  
Holliston, MA. 01746

MCA Project #:  
22-035

Stamp

Document shall not be used for construction or to obtain building permits without stamp and signature.

Revisions  
No. Date Revision

Drawing  
**First Floor**  
Reflected  
Ceiling Plan

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

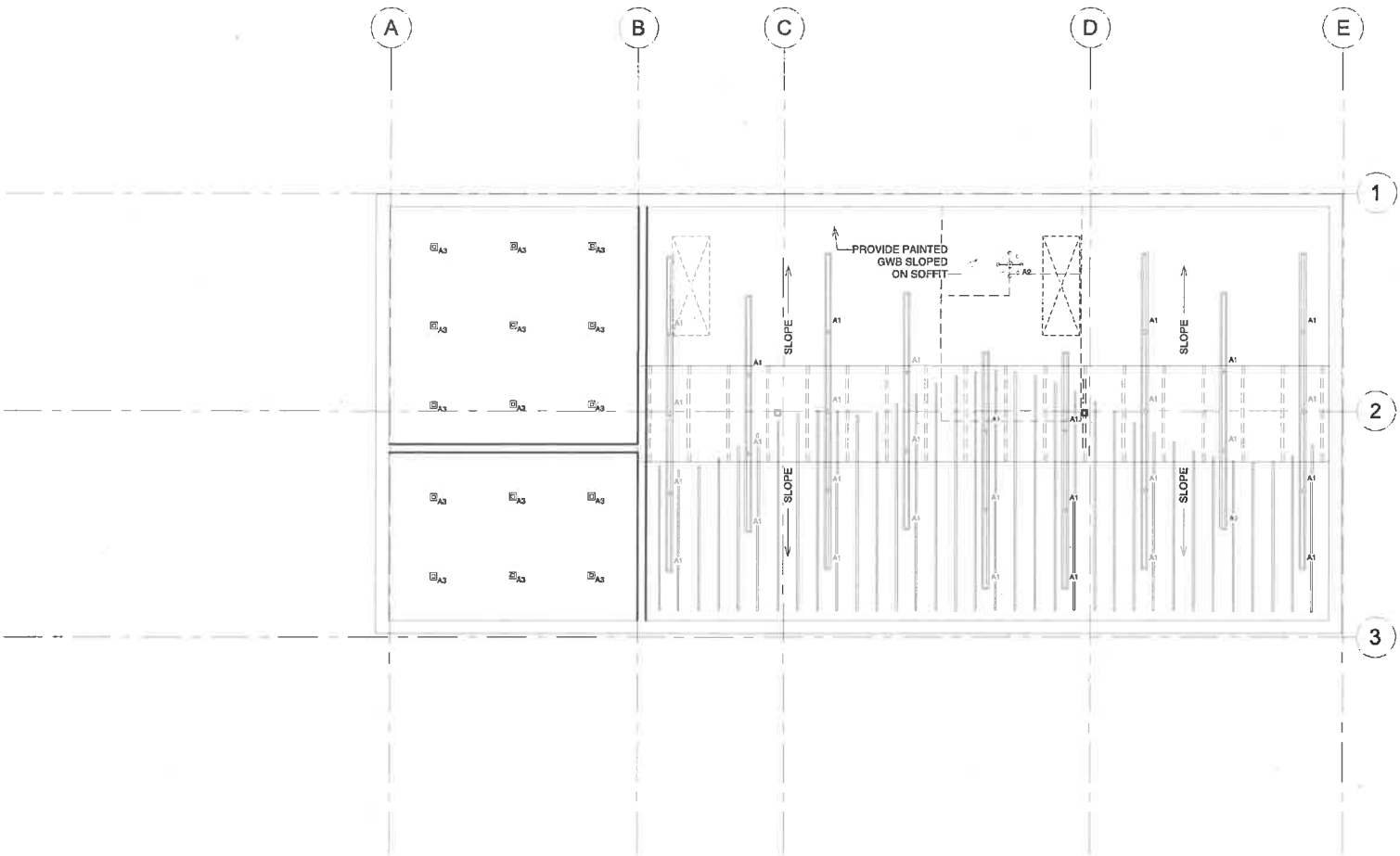
**A102**

GENERAL NOTES:

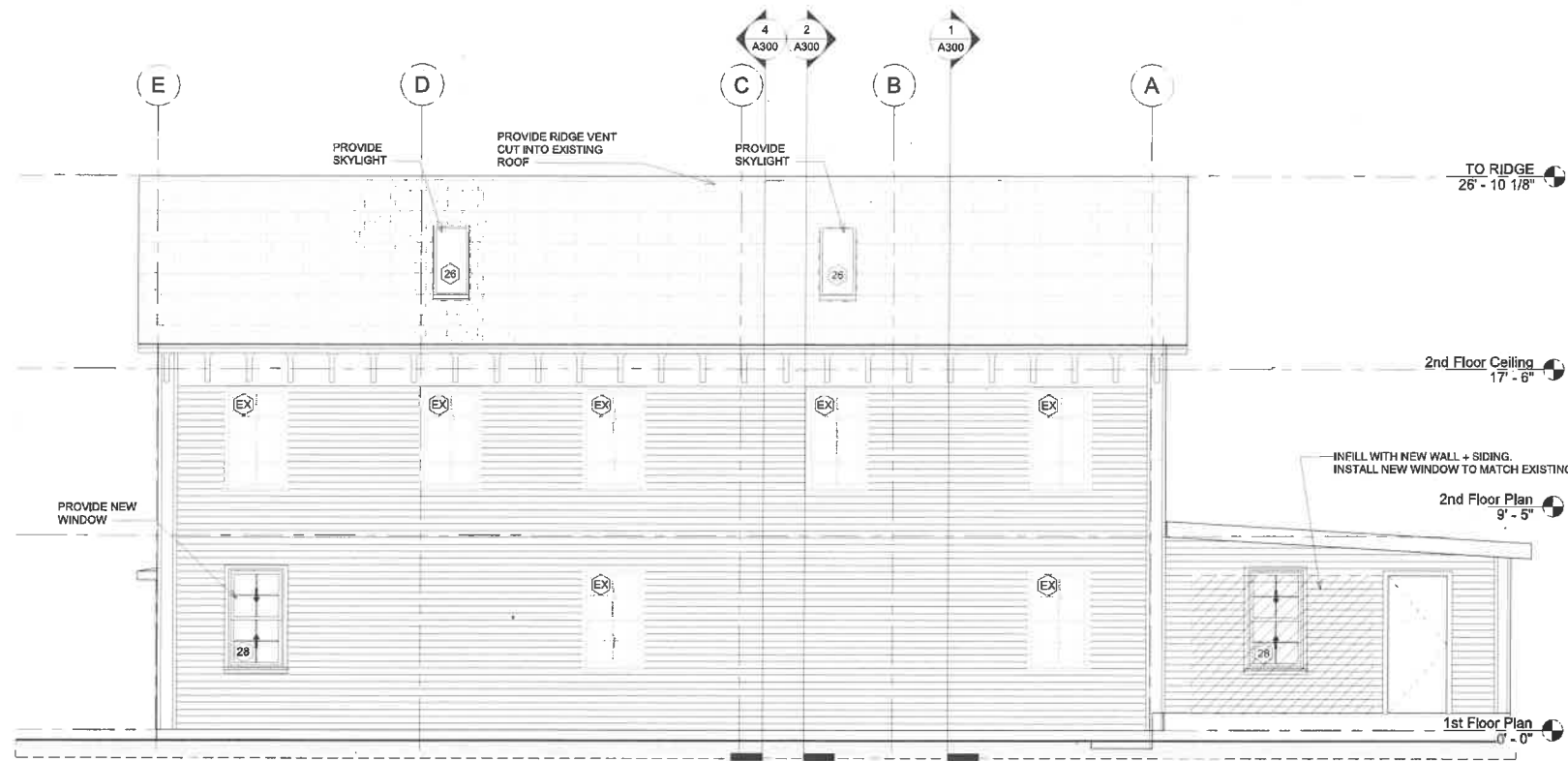
1. THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
2. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
3. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AREAS ADJACENT TO WORK BEING PERFORMED DAMAGED DURING CONSTRUCTION. MAKE CLEAN CUTS, PATCH AND REPAIR AT EDGE CONDITIONS OF EXISTING TO REMAIN AND NEW WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TO REMAIN DURING CONSTRUCTION. EXISTING LANDSCAPING, EXISTING BUILDINGS AND ADJACENT WORK SHALL BE PROTECTED AS REQUIRED DURING ALL PHASES OF CONSTRUCTION. NO ALLOWANCES WILL BE GIVEN FOR DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING TO REMAIN.

RCP NOTES:

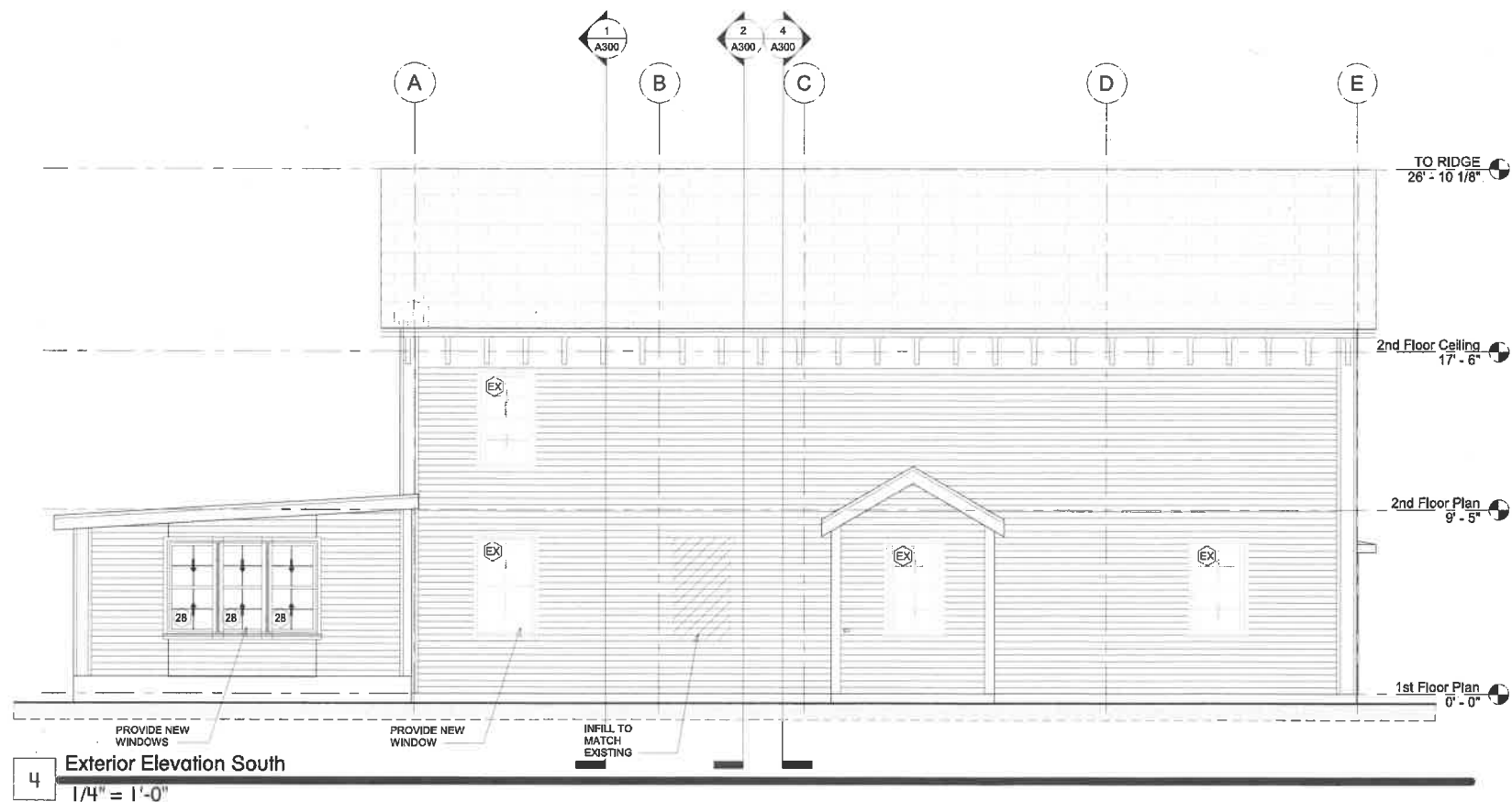
- 2X4 ACOUSTICAL CEILING TILE
- GYPSUM WALL BOARD CEILING
- ACT  
7'-10"
- NEW 4"x48" PENDENT LIGHT
- NEW CHANDELIER LIGHT
- NEW 4" RECESSED DOWNLIGHT
- NEW 24"x24" LIGHT IN ACT GRID
- NEW LED PENDANT LIGHT FIXTURE
- NEW WALL MOUNTED FRONT DOOR LIGHT
- HVAC RETURN
- 1"BAFFLES



2nd Floor Reflected Ceiling Plan  
1/4" = 1'-0"



3 Exterior Elevation North  
1/4" = 1'-0"



4 Exterior Elevation South  
1/4" = 1'-0"

## GENERAL NOTES:

1. THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
2. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
3. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AREAS ADJACENT TO WORK BEING PERFORMED. DAMAGED DURING CONSTRUCTION. MAKE CLEAN CUTS, PATCH AND REPAIR AT EDGE CONDITIONS OF EXISTING TO REMAIN AND NEW WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TO REMAIN DURING CONSTRUCTION. EXISTING LANDSCAPING, EXISTING BUILDINGS AND ADJACENT WORK SHALL BE PROTECTED AS REQUIRED DURING ALL PHASES OF CONSTRUCTION. NO ALLOWANCES WILL BE GIVEN FOR DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING TO REMAIN.

**MATZ**  
COLLABORATIVE  
ARCHITECTS  
50 SPEEN STREET, SUITE 300  
FRAMINGHAM, MA. 01701

This document is the Intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.  
Copyright 2023 ©  
Matz Collaborative Architects, Inc.

Client  
**Vesta Real Estate**  
15 Winthrop Str.  
Edward Danieleq  
15 Winthrop Street  
Holliston, MA. 01746

Consultant

Project  
**Vesta**  
Co-Working

Location:  
15 Winthrop Street  
Holliston, MA. 01746

MCA Project #:  
22-035  
Stamp

Document shall not be used for construction or to obtain building permits without stamp and signature.

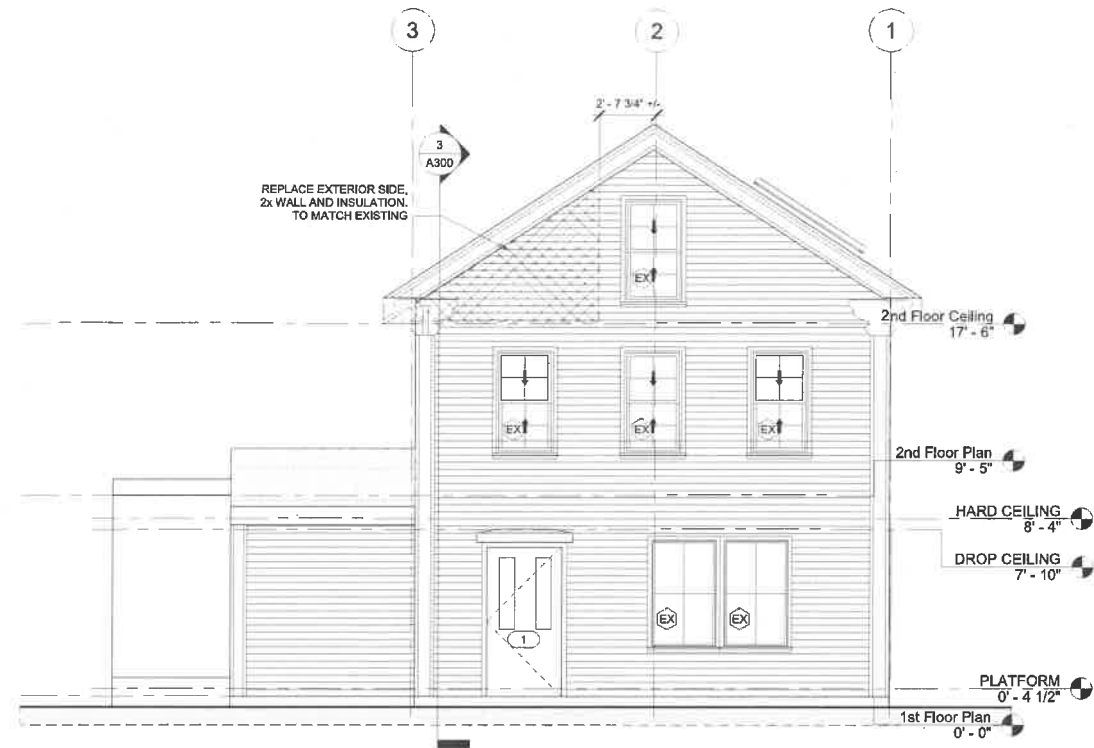
Revisions  
No. Date Revision

Drawing  
**Exterior Elevations**

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

**A200**





1 Exterior Elevation East  
1/4" = 1'-0"

## GENERAL NOTES:

1. THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
2. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
3. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AREAS ADJACENT TO WORK BEING PERFORMED DAMAGED DURING CONSTRUCTION. MAKE CLEAN CUTS, PATCH AND REPAIR AT EDGE CONDITIONS OF EXISTING TO REMAIN AND NEW WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TO REMAIN DURING CONSTRUCTION. EXISTING LANDSCAPING, EXISTING BUILDINGS AND ADJACENT WORK SHALL BE PROTECTED AS REQUIRED DURING ALL PHASES OF CONSTRUCTION. NO ALLOWANCES WILL BE GIVEN FOR DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING TO REMAIN.

# MATZ

COLLABORATIVE  
ARCHITECTS

50 SPEEN STREET, SUITE 300  
FRAMINGHAM, MA, 01701

This document is the intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.

Copyright 2023 ©  
Matz Collaborative Architects, Inc.

Client  
**Vesta Real Estate**  
15 Winthrop Str.  
Edward Daniels  
15 Winthrop Street  
Holliston, MA. 01746

Consultant

Project  
**Vesta**  
Co-Working

Location:  
15 Winthrop Street  
Holliston, MA. 01746

MCA Project #:  
22-035

Stamp

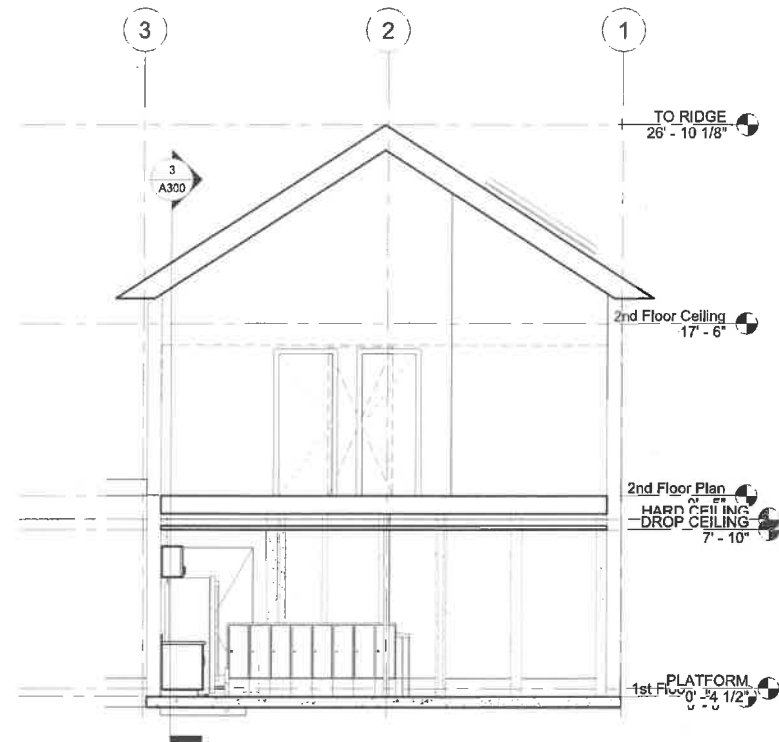
Document shall not be used for construction or to obtain building permits without stamp and signature.

Revisions  
No. Date Revision

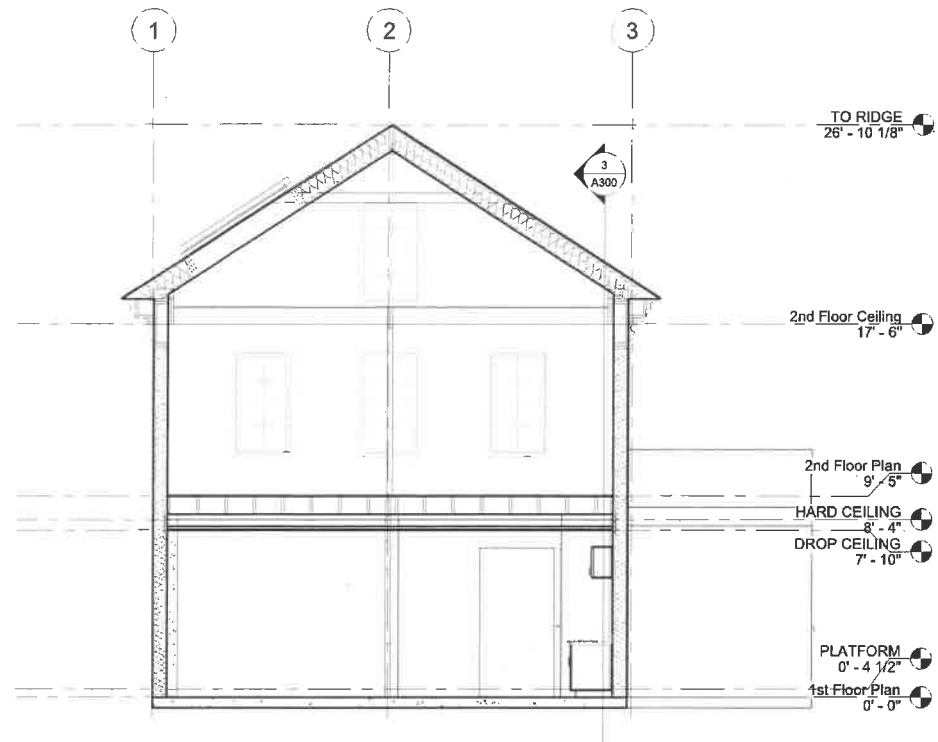
Drawing  
**Exterior Elevations**

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

# A201



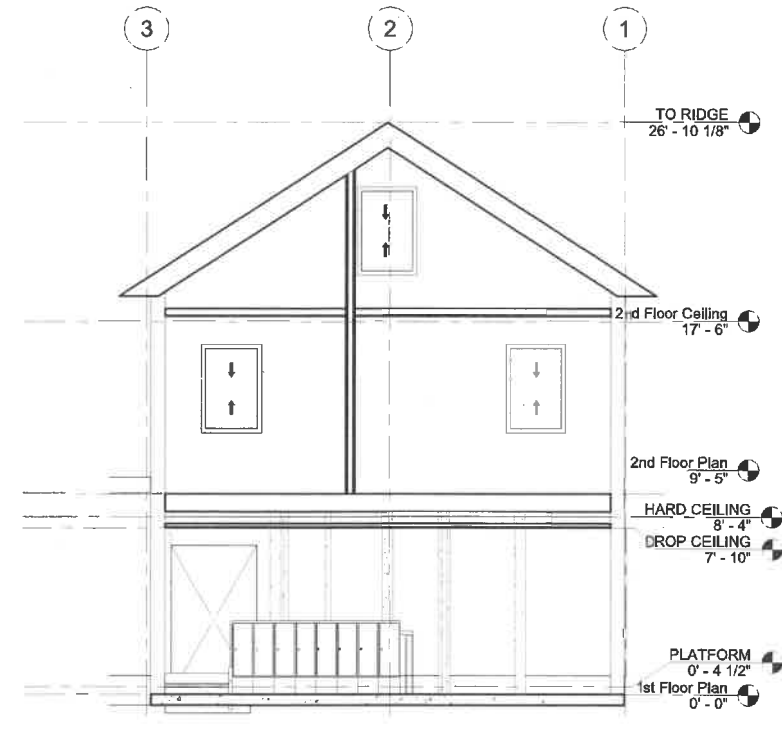
2 Section 7  
1/4" = 1'-0"



4 Section 4  
1/4" = 1'-0"



3 Section 3  
1/4" = 1'-0"



1 Section 6  
1/4" = 1'-0"

## GENERAL NOTES:

1. THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
2. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
3. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AREAS ADJACENT TO WORK BEING PERFORMED DAMAGED DURING CONSTRUCTION. MAKE CLEAN CUTS, PATCH AND REPAIR AT EDGE CONDITIONS OF EXISTING TO REMAIN AND NEW WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TO REMAIN DURING CONSTRUCTION. EXISTING LANDSCAPING, EXISTING BUILDINGS AND ADJACENT WORK SHALL BE PROTECTED AS REQUIRED DURING ALL PHASES OF CONSTRUCTION. NO ALLOWANCES WILL BE GIVEN FOR DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING TO REMAIN.

# MATZ

## COLLABORATIVE ARCHITECTS

50 SPEEN STREET, SUITE 300  
FRAMINGHAM, MA. 01701

This document is the intellectual property of Matz Collaborative Architects, Inc. Any reproduction, possession or use of this document in full or in part without the written consent of Matz Collaborative Architects, Inc. is prohibited.

Copyright 2023 ©  
Matz Collaborative Architects, Inc.

Client  
**Vesta Real Estate**  
**15 Winthrop Str.**  
**Edward Daniels**  
**15 Winthrop Street**  
**Holliston, MA. 01746**

Consultant

Project  
**Vesta**  
**Co-Working**

Location:  
**15 Winthrop Street**  
**Holliston, MA. 01746**

MCA Project #:  
**22-035**

Stamp

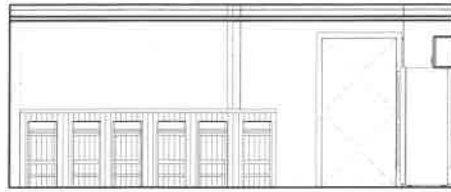
Document shall not be used for construction or to obtain building permits without stamp and signature.

Revisions  
No. Date Revision

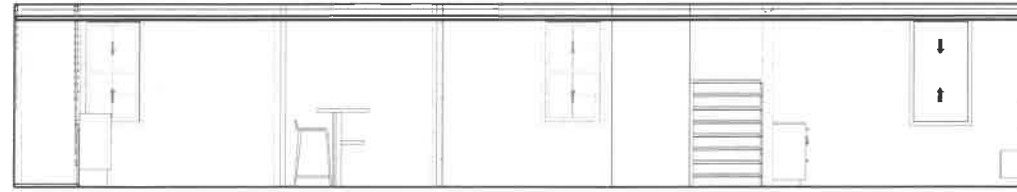
Drawing  
**Wall Sections**

Scale:  
As Noted  
Date:  
02/16/23  
Sheet

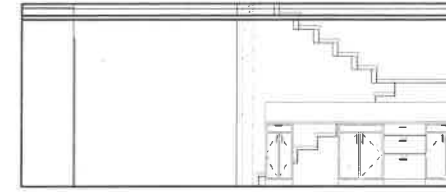
**A300**



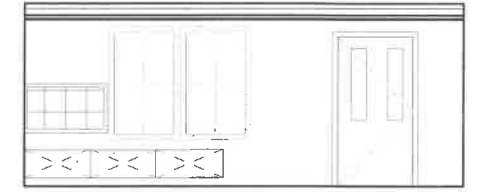
4 Open Office 4  
1/4" = 1'-0"



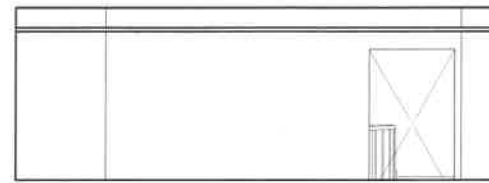
3 Open Office 3  
1/4" = 1'-0"



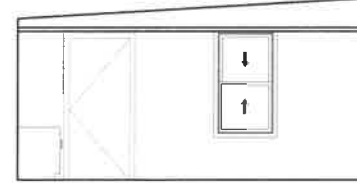
2 Open Office 2  
1/4" = 1'-0"



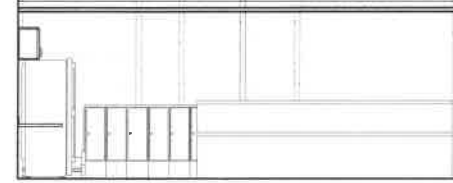
1 Open Office 1  
1/4" = 1'-0"



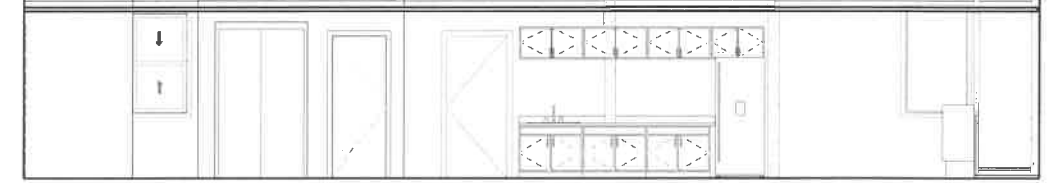
8 Open Office 8  
1/4" = 1'-0"



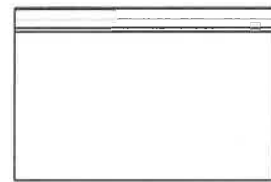
7 Open Office 7  
1/4" = 1'-0"



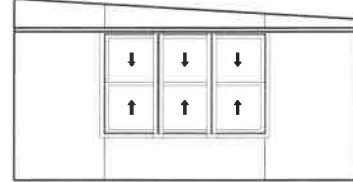
6 Open Office 6  
1/4" = 1'-0"



5 Open Office 5  
1/4" = 1'-0"



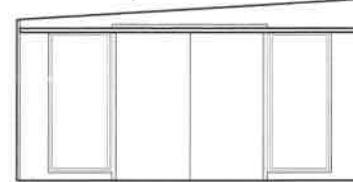
14 Conference Room 14  
1/4" = 1'-0"



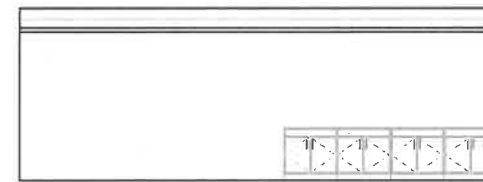
13 Conference Room 13  
1/4" = 1'-0"



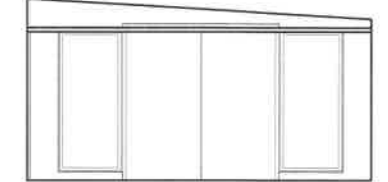
12 Conference Room 12  
1/4" = 1'-0"



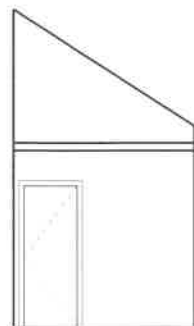
11 Conference Room 11  
1/4" = 1'-0"



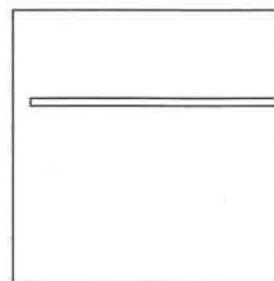
10 Open Office 10  
1/4" = 1'-0"



9 Open Office 9  
1/4" = 1'-0"



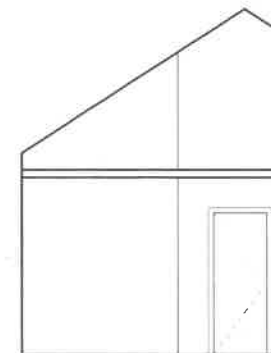
21 Office 21  
1/4" = 1'-0"



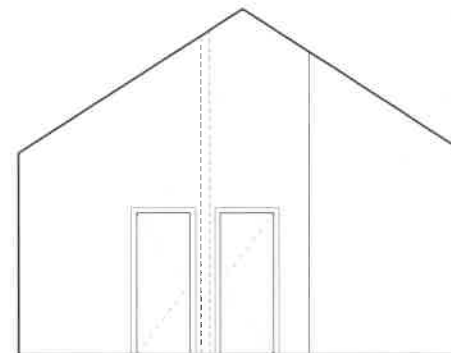
20 Office 20  
1/4" = 1'-0"



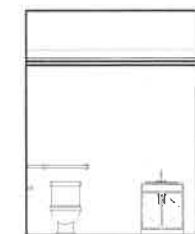
19 Conference room 19  
1/4" = 1'-0"



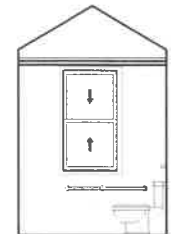
18 Conference Room 18  
1/4" = 1'-0"



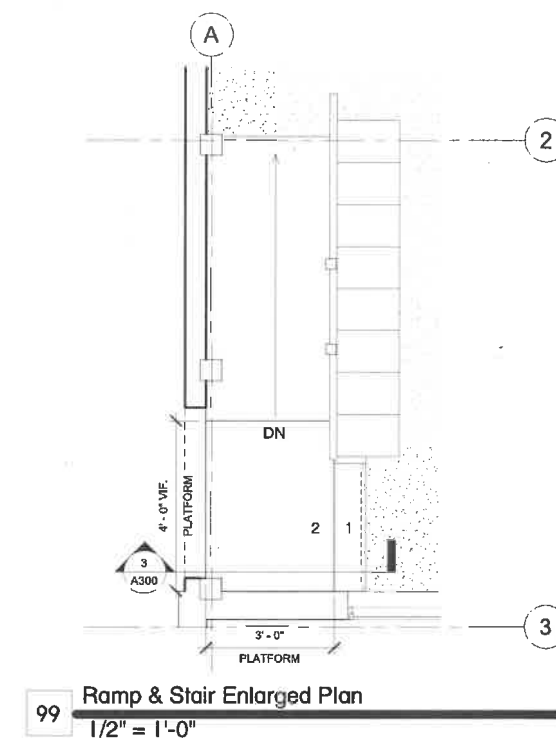
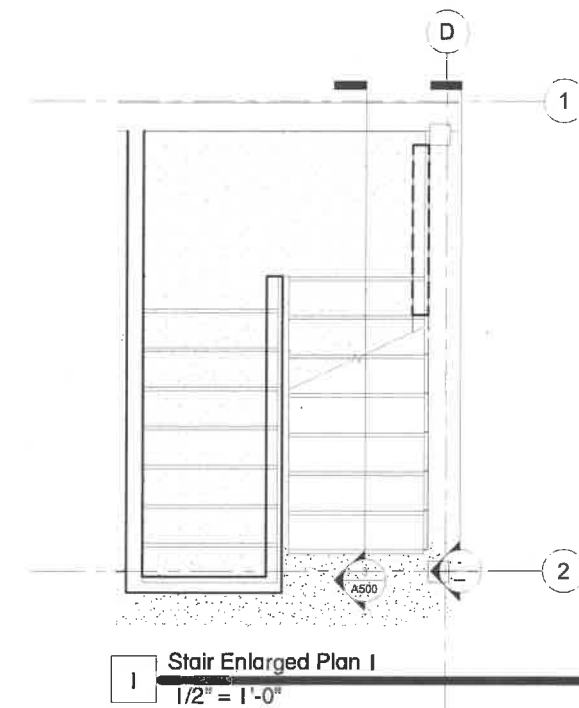
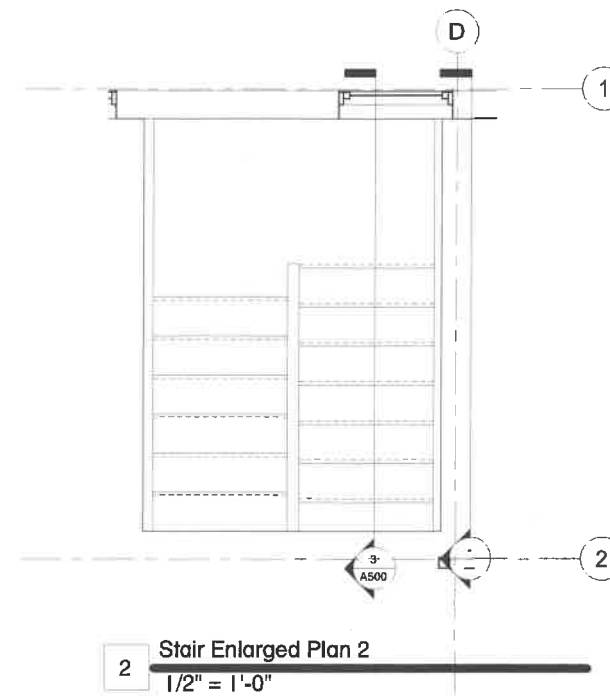
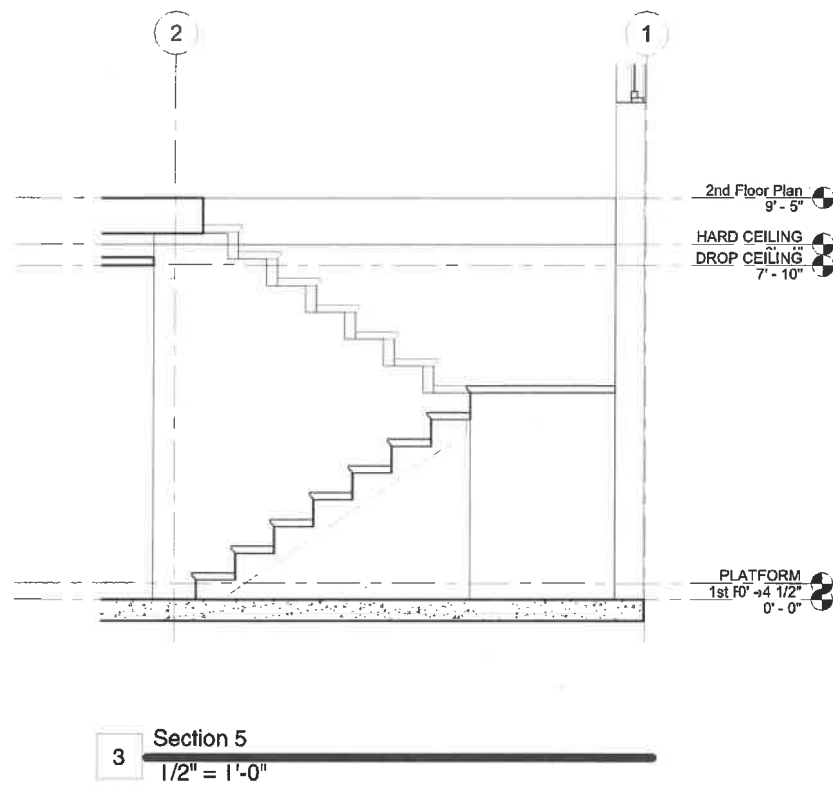
17 Open Office 17  
1/4" = 1'-0"



16 Toilet Room 16  
1/4" = 1'-0"



15 Toilet Room 15  
1/4" = 1'-0"



1. ALL CONSTRUCTION REQUIRED OF THE CONTRACTORS BY THE CONTRACT DOCUMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE GOVERNING BUILDING CODE AND OSHA REGULATIONS, SUPPLEMENTED BY THE CONTRACT DOCUMENTS. THE GOVERNING BUILDING CODE USED IN THE STRUCTURAL DESIGN IS THE INTERNATIONAL BUILDING CODE 2015 (IBC) WITH MASSACHUSETTS 9TH EDITION AMENDMENTS. ALL WORK SHALL ALSO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF BOSTON BUILDING DEPARTMENT.
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, AND SPECIFICATIONS.
3. WHERE THERE IS A CONFLICT BETWEEN A GENERAL REQUIREMENT (GENERAL NOTES, TYPICAL DETAILS, ETC.) AND A SPECIFIC REQUIREMENT (PLAN, SECTION, ETC.) THE SPECIFIC REQUIREMENT SHALL BE APPLICABLE. WHERE, IN AN SPECIFIC CASE, DIFFERENT SPECIFIC REQUIREMENTS INDICATE INCONSISTENT MATERIALS, METHODS OF CONSTRUCTION OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN.
4. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
5. DO NOT SCALE DIMENSIONS OR ELEVATIONS FROM DRAWINGS. THE CONTRACTORS SHALL REQUEST, FROM THE ARCHITECT, NECESSARY DIMENSIONS AND ELEVATIONS NOT SHOWN ON THE CONTRACT DOCUMENTS.
6. UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
7. CONSTRUCTION PROCEDURES, BRACING, MEANS, METHODS, AND SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR DOING THE WORK. THESE DRAWINGS ARE REPRESENTATIVE OF THE COMPLETE STRUCTURAL SYSTEM.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION.

### 1. MATERIAL DEAD LOADS

- | MATERIAL DEAD LOADS                      |  |             |     |
|--|--|-------------|-----|
| a.                                       | ACOUSTICAL FIBER BOARD                 | 1           | PSF |
| b.                                       | GYP-SUM BOARD                          | 3           | PSF |
| B. COVERINGS (FLOOR, ROOF AND WALL)      |  |             |     |
| a.                                       | ASPHALT SHINGLES                       | 2           | PSF |
| b.                                       | BUILT-UP ROOFING                       | 6           | PSF |
| c.                                       | STEEL DECKING                          | 3           | PSF |
| d.                                       | WOOD DECKING (2" NOMINAL)              | 5           | PSF |
| e.                                       | PLYWOOD (PER 1/8" THICKNESS)           | 0.4         | PSF |
| f.                                       | GYP-SUM SHEATHING (PER 1/8" THICKNESS) | 0.55        | PSF |
| g.                                       | RIGID INSULATION (PER 1" THICKNESS)    | 1.5         | PSF |
| h.                                       | FIBERGLASS INSULATIONS                 | 0.5         | PSF |
| i.                                       | WATERPROOFING MEMBRANE                 | 1           | PSF |
| C. FLOOR FILL                            |  |             |     |
| a.                                       | NORMAL WEIGHT CONCRETE                 | 150         | PCF |
| D. FRAMING (FLOOR AND ROOF) AND FINISHES |  |             |     |
| a.                                       | WOOD FRAMING                           | 6           | PSF |
| b.                                       | CERAMIC TILE (PER 1/2" THICKNESS)      | 1.5         | PSF |
| c.                                       | GROUT (PER 1/2" THICKNESS)             | 6           | PSF |
| d.                                       | LINOLEUM OR ASPHALT TILE (1/4")        | 1           | PSF |
| e.                                       | HARDWOOD FLOORING (PER 1" THICKNESS)   | 4           | PSF |
| f.                                       | CARPET AND PAD                         | 2           | PSF |
| E. WALLS AND PARTITIONS                  |  |             |     |
| a.                                       | WOOD STUD INTERIOR PARTITIONS          | 8           | PSF |
| b.                                       | WOOD STUD EXTERIOR WALLS               | 12          | PSF |
| c.                                       | CONCRETE                               |             |     |
| 2. DESIGN DEAD LOADS:                    |  |             |     |
| A. FLOOR/ROOF LEVEL                      |  | 20          | PSF |
| 3. LIVE LOADS:                           |  |             |     |
| A. OCCUPANCY OR USE                      |  | 40          | PSF |
| 4. SNOW LOADS:                           |  |             |     |
| A. GROUND SNOW LOAD; ( $p_g$ )           |  | 40          | PSF |
| B. FLAT ROOF SNOW LOAD; ( $p_f$ )        |  | 30          | PSF |
| C. SLOPED ROOF                           |  | AS REQUIRED |     |
| D. SNOW DRIFT                            |  | AS REQUIRED |     |

5. ALL CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED CONFORMING TO CURRENT AMERICAN CONCRETE INSTITUTE (ACI) 301, 304 AND 308 STANDARDS. THE FOLLOWING CONCRETE MIX DESIGNS SHALL BE SUBMITTED FOR REVIEW:

A. FOOTINGS

28-DAY STRENGTH (MIN)	3,000 PSI
COARSE AGGREGATE (MAX)	¾"
WATER CEMENT RATIO (w/c)	0.48
AIR ENTRAINMENT	3% (±1%)
SUMP	4% (±1")

1. ALL WOOD MEMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDED PRACTICE OF THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) AND NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).
2. ALL WOOD MEMBERS, ENGINEERED LUMBER, AND PLYWOOD USED IN CONSTRUCTION OF THIS STRUCTURE SHALL BE NEW MATERIAL. ALL WOOD AND ENGINEERED LUMBER MEMBERS SHALL BE FREE FROM CRACKS, KNOT Holes, NOTCHES AND OTHER STRUCTURAL DEFICIENCIES.
3. WOOD FRAMING SIZES, VERTICAL FRAMING, HORIZONTAL FRAMING, FIRESTOPS, ANCHORAGE, FURRING AND CONNECTORS NOT SHOWN ON THE CONTRACT DOCUMENTS SHALL BE PER THE GOVERNING BUILDING CODES MINIMUM REQUIREMENTS.
4. ALL WOOD MEMBERS USED FOR EXTERIOR CONSTRUCTION OR IN CONTACT WITH CONCRETE (SILL PLATES) SHALL BE PRESERVATIVE TREATED (PT) LUMBER. WATER-BORNE PRESERVATIVES SHALL BE USED AND LUMBER SHALL BE TREATED IN ACCORDANCE WITH ANPA U1 (COMMUNITY SPECIFICATIONS A OR F) FOR ABOVE GROUND USE. ALL FASTENERS AND CONNECTORS IN CONTACT WITH PT LUMBER SHALL BE HOT-DIP ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
5. ALL LUMBER AND PLYWOOD NOTED ON THE CONTRACT DOCUMENTS AS FIRE RETARDANT TREATED (F.R.T.) SHALL BE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVES ASSOCIATION, STANDARDS C20

A. MODULOUS OF ELASTICITY (E)	0.96
B. FLEXURAL STRESS ( $F_b$ )	0.89
C. COMPRESSION PERPENDICULAR ( $F_c$ )	0.88
D. TENSION PARALLEL ( $F_t$ )	0.86
E. SHEAR PARALLEL ( $F_s$ )	0.90

- ALL WOOD STUDS, JOISTS AND BEAMS SHALL BE MINIMUM #2 HDM-FIR, OR #2 SPRUCE-PINE-FIR (S-P-F), OR BETTER. ALL LUMBER SHALL BE STAMPED WITH THE GRADE MARK OR AN APPROVED LUMBER TESTING OR GRADING AGENCY IN ACCORDANCE WITH DOC PS-20. FINGER JOINTED LUMBER SHALL NOT BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE STRUCTURAL ENGINEER.
7. ALL ENGINEERED WOOD PRODUCTS SHALL BE AS MANUFACTURED BY TRUS JOINT OR AN APPROVED SUBSTITUTE. WHERE AN ALTERNATE PRODUCT IS PROPOSED, LAMINATED VENEER LUMBER (LVL), PARALLEL STRAND LUMBER (PSL), AND LAMINATED STRAND LUMBER (LSL) SHALL BE MANUFACTURED TO THE MINIMUM PROPERTIES SPECIFIED BELOW. ALL ENGINEERED WOOD PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS ON THESE DRAWINGS AND THE MINIMUM STANDARD DETAILS PROVIDED BY THE MANUFACTURER.
- |   | LVL                  | PSL                  | LSL                  | PSL(COL)             |
|---|----------------------|----------------------|----------------------|----------------------|
| A. MODULUS OF ELASTICITY (E), PSI                   | 1.91x10 <sup>6</sup> | 2.01x10 <sup>6</sup> | 1.55x10 <sup>6</sup> | 1.81x10 <sup>6</sup> |
| B. FLEXURAL STRESS (F <sub>b</sub> ), PSI           | 2,600                | 2,900                | 2,325                | 2,400                |
| C. COMPRESSION PERPENDICULAR (F <sub>c</sub> ), PSI | 750                  | 750                  | 800                  | 425                  |
| D. COMPRESSION PARALLEL (F <sub>c</sub> ), PSI      | 2,510                | 2,900                | 2,050                | 2,500                |
| E. SHEAR PARALLEL (F <sub>v</sub> ), PSI            | 285                  | 290                  | 310                  | 190                  |
8. ALL WOOD STRUCTURAL PANEL (WSP) SHALL CONFORM TO THE REQUIREMENTS OF DOC PS-2 WITH A BOND CLASSIFICATION OF EXPOSURE 1. WOOD STRUCTURAL PANEL SHALL BE STAMPED WITH AN APA TRADEMARK INDICATING THE THICKNESS, GRADE AND SPAN RATING INDICATED ON THE DRAWINGS AND WITHIN THE "GENERAL NOTES AND SPECIFICATIONS".
9. ALL JOIST HANGERS, COLUMN CAPS, COLUMN BASES, HOLDOWNS, METAL CONNECTOR PLATES AND OTHER ENGINEERED WOOD CONNECTION PRODUCTS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE CO., INC. OR AN APPROVED SUBSTITUTE. ALL PRODUCTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
10. WIRE NAILS SHALL BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC), AMERICAN WOOD COUNCIL NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AND ASTM F1667. ALL NAILS SPECIFIED ON THESE DRAWINGS SHALL BE COMMON NAILS, UNLESS NOTED OTHERWISE.
11. GUN NAILS MAY BE USED AND THE FOLLOWING MINIMUM LENGTH AND DIAMETER SHALL BE USED FOR THE COMMON DESIGNATIONS ON THESE PLANS:

PENNY WT.	LENGTH	DIAMETER
8d	2½"	0.131"
10d	3"	0.148"
8d	2½"	0.131"
10d	3"	0.148"
8d	2½"	0.131"
10d	3"	0.148"
12d	3½"	0.148"
16d	3½"	0.162"

1. ROOF AND FLOOR FRAMING LAYOUTS ARE PROVIDED TO ILLUSTRATE CONDITIONS OF CONSTRUCTION AND DO NOT NECESSARILY INDICATE SPECIFIC QUANTITIES OF MATERIALS OR COMPONENTS REQUIRED FOR CONSTRUCTION.
2. BLOCKING FOR INTERIOR FINISHES SHALL BE PROVIDED IN ADDITION TO MINIMUM STRUCTURAL CONFIGURATION SHOWN IN THESE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFIC CONDITIONS. WALLS WILL REQUIRE MOORE BLOCKING TO THE GREATEST EXTENT POSSIBLE. THE WALL PANELS SHALL BE FABRICATED WITH ADDITIONAL BLOCKING FOR THIS PURPOSE PROVIDED THAT IT DOES NOT INTERFERE WITH THE INSTALLATION OF STRUCTURAL ASSEMBLIES SHOWN ON THESE DRAWINGS.
3. ALL WOOD FRAMING SHALL BE FASTENED IN ACCORDANCE WITH THE FASTENING SCHEDULE IN TABLE 2308.3.1 OF THE IBC OR AS INDICATED IN THESE DRAWINGS, THE MORE STRINGENT SHALL APPLY. SHEAR WALL ASSEMBLIES SHALL BE FASTENED IN ACCORDANCE WITH THE "STRUCTURAL SHEAR PANEL" AND "STRUCTURAL DIAPHRAGM" NOTES ON THESE DRAWINGS. NAIL FASTENING SHEATHING TO SUPPORTING MEMBERS SHALL BE DRIVEN SO THAT THE NAIL HEAD IS FLUSH WITH THE SHEATHING SURFACE.
4. CUTTING, NOTCHING AND BORING SHALL BE AVOIDED WHEREVER POSSIBLE. WHEN ABSOLUTELY NECESSARY, CUTTING, NOTCHING AND BORING OF STRUCTURAL FRAMING AND LOAD BEARING ASSEMBLIES SHALL BE LIMITED BY THE PROVISIONS OF SECTION 2308.4 OF THE IBC.

A. FLOOR FRAMING	2308.8.2	
B. WALL FRAMING	2308.9.10 and 2308.9.11	
C. ROOF/CEILING FRAMING	2308.10.4.2	

- ALL NON-BEARING PARTITIONS PARALLEL TO JOISTS SHALL BE SUPPORTED AT THEIR BASE BY A JOIST DIRECTLY UNDER THE PARTITION OR WHERE THE PARTITION FALLS BETWEEN JOISTS, 2x4 BLOCKING AT A SPACING NOT TO EXCEED 24" O.C. BENEATH THE WALL ABOVE. 2x4 BLOCKING SHALL BE SUPPORTED BY CONTINUOUS 2x LEDGERS ALONG THE JOIST OR BY JOIST HANGERS.
- ALL JOISTS, RAFTERS AND TRUSSES SHALL ALIGN WITH THE SUPPORTING STUDS UNLESS THE LAYOUT SPACINGS DO NOT MATCH.
- MULTIPLE MEMBER, MULTIPLE PLY OR BUILT-UP BEAMS THAT ARE USED IN PLACE OF SOLID SECTION MEMBERS SHALL HAVE PILES CONNECTED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- PROVIDE STANDARD FLUSH BEAM AND JOIST HANGERS BY SIMPSON STRONG-TIE OR AN APPROVED SUBSTITUTE ON ALL BEAM AND JOIST ENDS THAT DO NOT BEAR ON WALLS OR BEAMS.
- ALL WOOD MEMBERS SHALL BE PRE-DRILLED PRIOR TO INSTALLATION OF BOLTS OR LAGS.
- ALL JOISTS SHALL BE PROVIDED WITH ONE LINE OF BRIDGING FOR EACH 8 FEET OF SPAN. BRIDGING SHALL CONSIST OF METAL CROSS, WOOD CROSS (1X3 MIN) OR 2x4 SOLID BLOCKING OF EQUAL DEPTH TO THE JOIST. FLOOR AND ROOF TRUSS COMPONENTS SHALL HAVE BRIDGING OR BRACING LINES AS SHOWN ON TRUSS MANUFACTURER DRAWINGS.
- PROVIDE COLLAR TIES ON CONVENTIONAL RAFTER FRAMING OF AT LEAST 1x6 BOARDS LOCATED AT A DISTANCE OF  $\frac{1}{4}$  OF THE RIDGE HEIGHT DOWN FROM THE RIDGE BEAM AND A MAXIMUM SPACING OF 48" O.C.
- ALL POSTS SHALL BE CARRIED DOWN TO FOUNDATIONS. JOIST CAVITIES WITHIN THE FLOOR THAT FALL IN LINE WITH POSTS SHALL BE BLOCKED SOLID BETWEEN THE TOP PLATE OF THE WALL BELOW TO THE UNDERSIDE OF THE SOLE PLATE ABOVE.
- ALL BUILT-UP BEAMS, ENGINEERED WOOD BEAMS, AND GIRDER TRUSSES MUST BE SUPPORTED BY POSTS WITHIN THE WALL FRAMING THAT ARE DIRECTLY ALIGNED WITH THE BEAM OR GIRDER TRUSS ABOVE. ALL BUILT-UP BEAMS OF 2x4 CONVENTIONAL FRAMING MEMBERS SHALL BE SUPPORTED BY AT LEAST THE SAME NUMBER OF BUILT-UP STUDS. ALL ENGINEERED WOOD BEAMS AND GIRDER TRUSSES MUST BE SUPPORTED BY A MINIMUM OF A 3-PLY BUILT-UP STUD OR THE NUMBER OF STUDS REQUIRED TO MEET OR EXCEED THE WIDTH OF THE FRAMING MEMBER ABOVE, WHICHEVER IS LARGER. WHERE SOLID OR ENGINEERED POSTS ARE SHOWN ON THE DRAWINGS, THOSE SHALL BE CONSIDERED TO SATISFY THE MINIMUM POST REQUIREMENTS.
- STUD BEARING WALLS, SHEAR WALLS AND EXTERIOR WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER A PREFABRICATED WALL PANEL SYSTEM OR FIELD BUILT WALLS. REFER TO THE TECHNICAL DETAILS FOR ADDITIONAL INFORMATION.
- FRAMED OPENINGS SHALL HAVE AT LEAST 1 JACK STUD AND 1 KING STUD ON EACH SIDE OF THE OPENING IN NON-LOAD BEARING WALLS OR AT LEAST 4" OPENINGS IN LOAD BEARING WALLS. FOR OPENINGS IN LOAD BEARING WALLS 4'-0" AND WIDER, AT LEAST 2 JACK STUDS AND 2 KING STUDS ON EACH END

16. ALL EXTERIOR WALL SHEATHING NOT SPECIFICALLY IDENTIFIED OTHERWISE AS SHEAR WALL SHEATHING SHALL BE MINIMUM  $\frac{3}{8}$ " THICK APA RATED WOOD STRUCTURAL PANEL SHEATHING WITH A SPAN RATING OF 32/16 OR WALL-24, EXPOSURE 1. AT LEAST ONE SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED. SHEATHING SHALL BE ORIENTED WITH LONG SPAN OF THE SHEET VERTICAL OR PARALLEL TO THE SUPPORTING STUDS. WALL SHEATHING SHALL BE FASTENED WITH 8d COMMON NAILS AT A MAXIMUM 6" O.C. AROUND ALL DIRECT EDGES AND 12" O.C. ON ALL INTERIOR SUPPORTS. SEE "STRUCTURAL SHEAR PANEL" NOTES FOR ADDITIONAL EXTERIOR WALL SHEATHING REQUIREMENTS.

1. ROOF DIAPHRAGM SHEATHING:

- ROOF SHEATHING SHALL BE 3/4" THICK APA RATED WOOD STRUCTURAL PANEL WITH A SPAN RATING OF 32/18, EXPOSURE 1. SHEATHING SHALL BE ORIENTED WITH LONG SPAN OF THE SHEET PERPENDICULAR TO THE SUPPORTING MEMBERS AND VERTICAL SEAMS STAGGERED BY 4'-0" O.C. SHEATHING MUST BE CONTINUOUS BENEATH ALL OVERFRAMED ROOF AREAS OR DORMERS.
- A. FASTENING WITH GENERAL ROOF AREA: 8d COMMON AT 6" O.C. ON SUPPORTED PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
  - B. FASTENING WITH BLOCKED DIAPHRAGM ROOF FLOOR ON PLAN: 8d COMMON AT 6" O.C. ON ALL PANEL EDGES AND 12" O.C. ALL INTERMEDIATE SUPPORTS. BLOCK ALL PANEL EDGES w/ MIN 2X BLOCKING BETWEEN RAFTERS.
2. FLOOR DIAPHRAGM SHEATHING.
- FLOOR SHEATHING SHALL BE 3/4" THICK WOOD STRUCTURAL PANEL ADDED TO EXISTING BOARD FLOOR SHEATHING WHERE INDICATED ON THE PLANS. PANELS SHALL BE TONGUE AND GROOVE TYPE, HAVING A SPAN RATING OF 48/24. SHEATHING SHALL BE ORIENTED WITH LONG SPAN OF THE SHEET PERPENDICULAR TO THE SUPPORTING MEMBERS AND VERTICAL SEAMS STAGGERED BY 4'-0" O.C. FLOOR SHEATHING SHALL BE SET IN A CONSTRUCTION ADHESIVE ON SUPPORTING MEMBERS.
- A. FASTENING WITH GENERAL FLOOR AREA: 8d COMMON AT 6" O.C. ON SUPPORTED PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
  - B. FASTENING WITH BLOCKED DIAPHRAGM FLOOR ZONE ON PLAN: 8d COMMON AT 6" O.C. ON ALL PANEL EDGES AND 12" O.C. ALL INTERMEDIATE SUPPORTS. BLOCK ALL PANEL EDGES w/ MIN 2X BLOCKING BETWEEN JOISTS.
3. ALL DIAPHRAGM SHEATHING SHALL BE APPLIED DIRECTLY TO THE FACE OF FRAMING MEMBERS IN ACCORDANCE WITH THE DIAPHRAGM REQUIREMENTS. FURRING, STRAPPING, AND ADDITIONAL LAYERS OF SHEATHING MAY NOT BE PLACED BETWEEN THE LISTED DIAPHRAGM SHEATHING AND THE FACE OF THE FRAMING MEMBER.



PO BOX 991  
Exeter, NH 03833  
(603) 583-2453

[illegible]

Vesta Building Rehabilitation  
15 Winthrop Street  
Holliston MA  
PREPARED FOR  
Matz Collaborative Architects  
60 Speen Street suite 300 Framingham MA-17003

STRUCTURAL  
NOTES

005-23

DR	PFK	CK	PFK
CADFILE	S001		

6/07/2023

SHEET 1 OF 7

S001



PO Box 991  
Exeter, NH 03833  
(603) 583-2453

[illegible]

15 Winthrop Street  
Holliston MA  
*PREPARED FOR*  
Matz Collaborative Architects  
50 Speen Street Suite 300 Framingham MA 01717



ST FLOOR  
MODIFICATION  
ANS

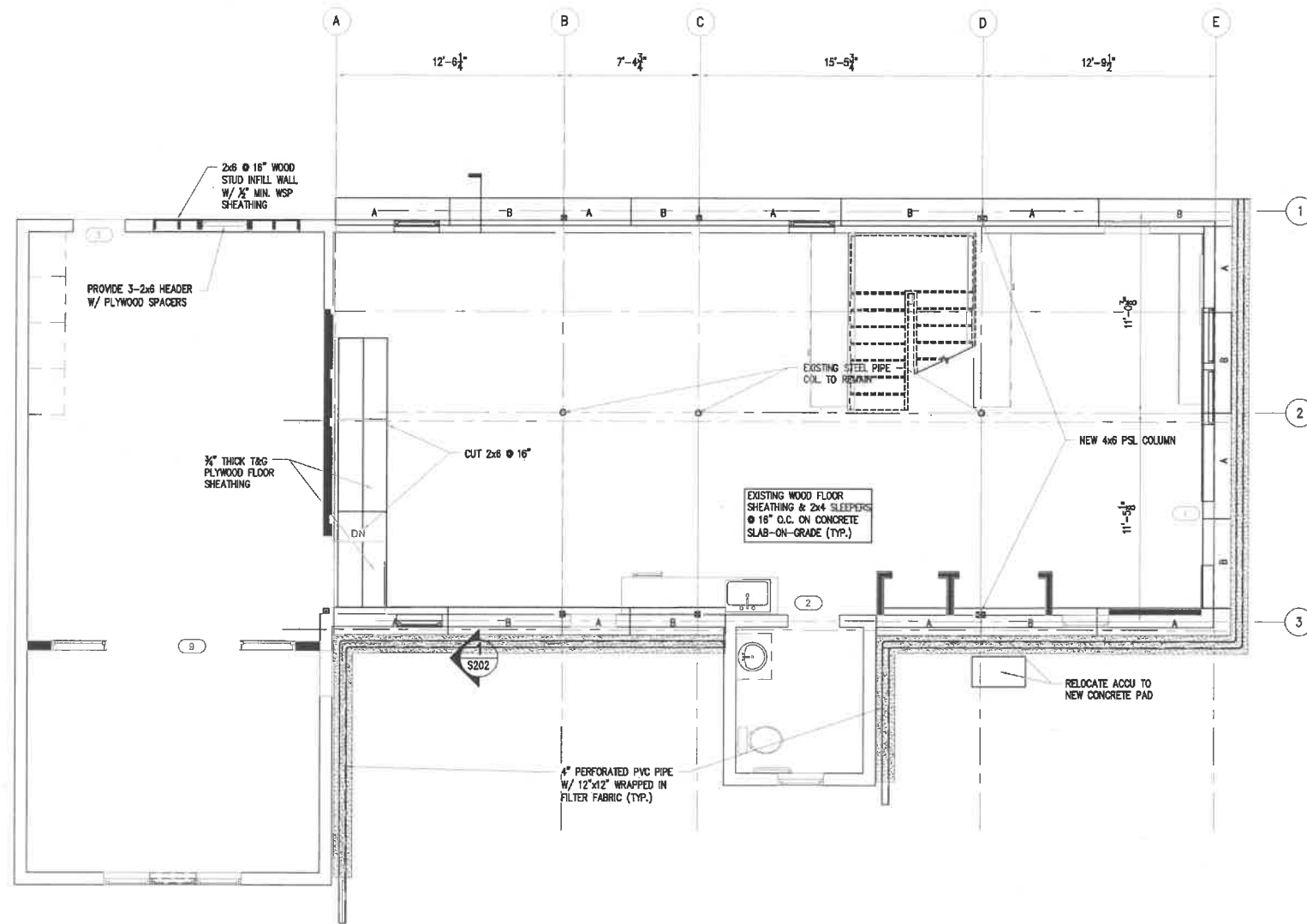
05-23

PFK	CK	PFK
-----	----	-----

6/07/2023

SHEET 2 OF 7

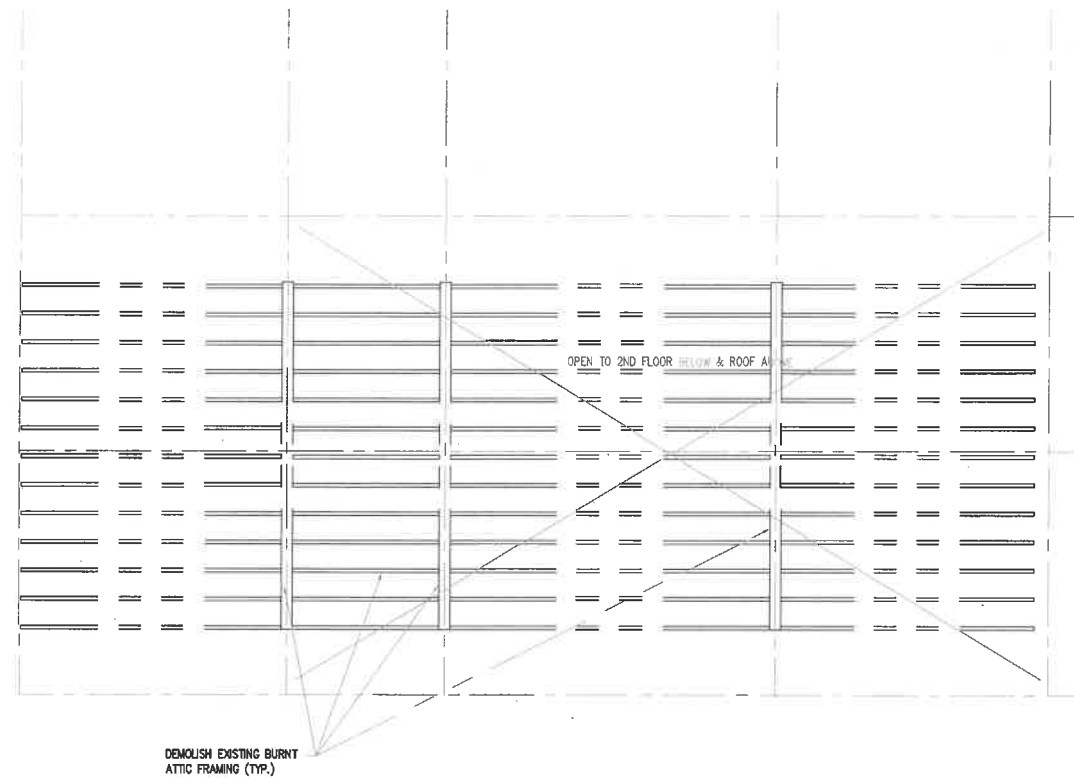
S101



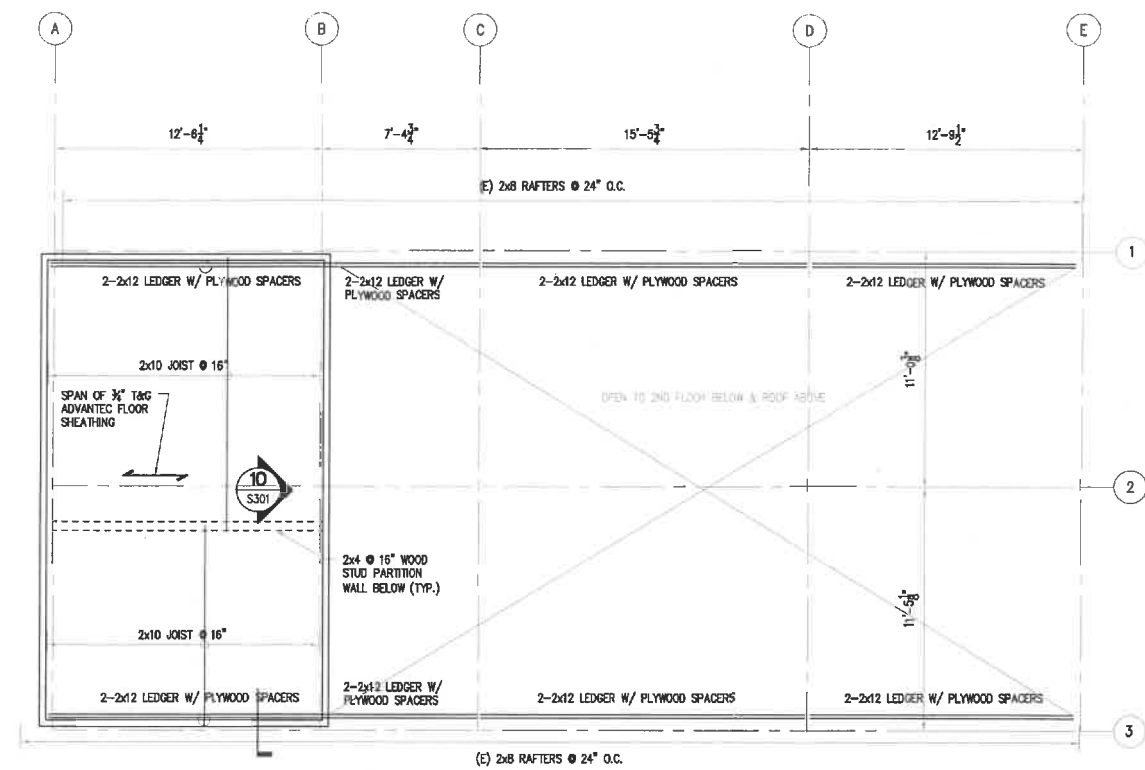
1 1ST FLOOR FOUNDATION MODIFICATION PLAN  
SCALE: 1/4" = 1'-0"

**FOUNDATION NOTES:**

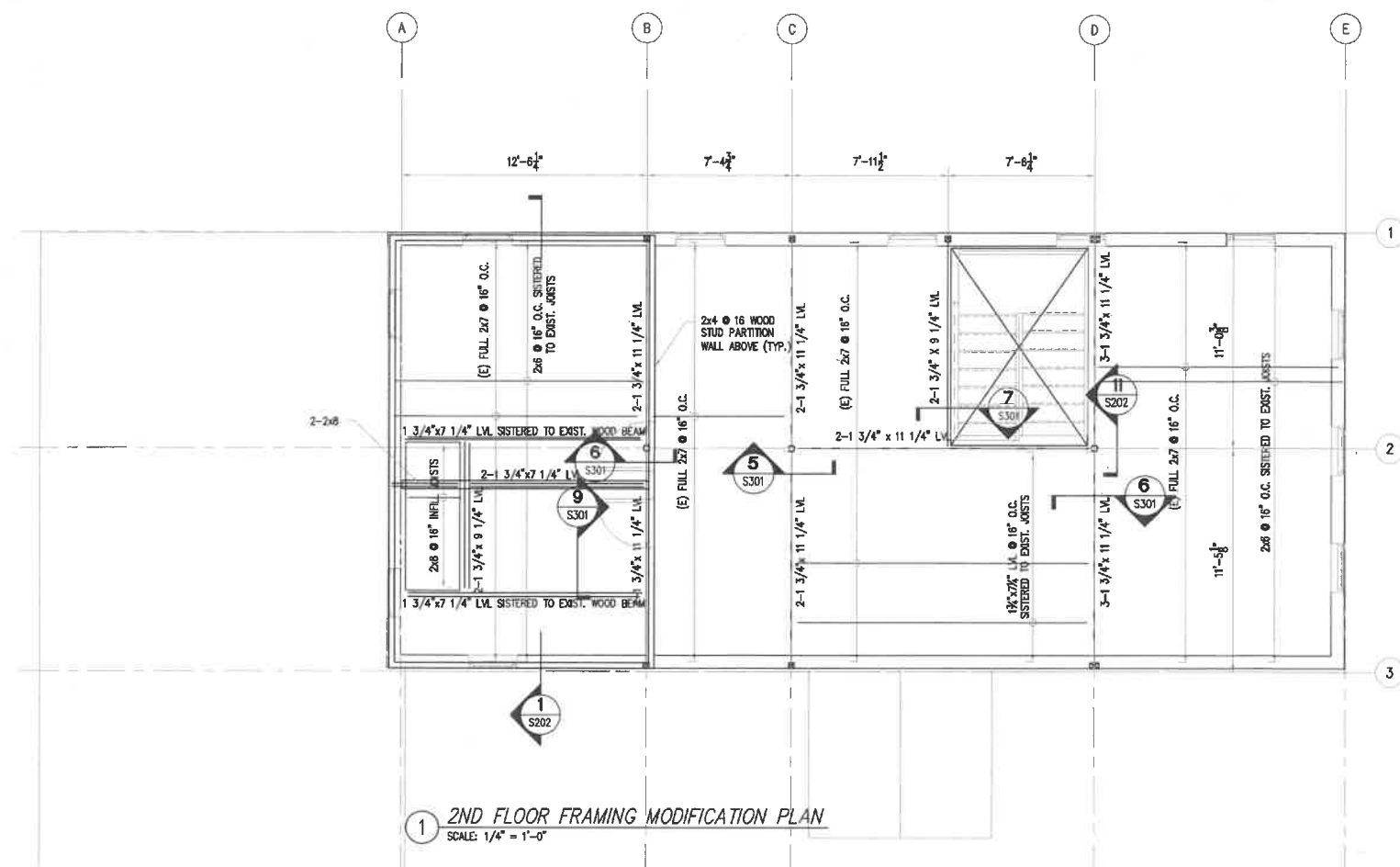
1. "C" INDICATES 18" THICK REINFORCED CONCRETE PIER.
2. FOUNDATION PIER CONSTRUCTION SEQUENCE:
  - 2.1. THE EXISTING FLOOR, WALL AND ROOF STRUCTURE MODIFICATIONS SHALL BE COMPLETE PRIOR TO FOUNDATION CONSTRUCTION.
  - 2.2. SHORE EXISTING BUILDING STRUCTURE PRIOR TO FOUNDATION CONSTRUCTION.
  - 2.3. EXCAVATE AND CONSTRUCT FOUNDATION PIERS IN ALTERNATE SECTIONS AND PLACEMENTS AS SHOWN IN PLAN.
3. FOUNDATION PIERS SHALL EXTEND A MINIMUM OF 4'-0" BELOW FINISHED GRADE AND BEAR ON ACCEPTABLE COMPACTED SUBGRADE.



2 ATTIC FRAMING DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"



3 ATTIC FRAMING MODIFICATION PLAN  
SCALE: 1/4" = 1'-0"



1 2ND FLOOR FRAMING MODIFICATION PLAN  
SCALE: 1/4" = 1'-0"



**Seacoast Structural Engineers LLC**

PO Box 991  
Exeter, NH 03833  
(603) 583-2453

Vesta Building Rehabilitation  
15 Winthrop Street  
Holliston MA  
PREPARED FOR  
Matz Collaborative Architects  
50 Speen Street Suite 300 Framingham MA 01701



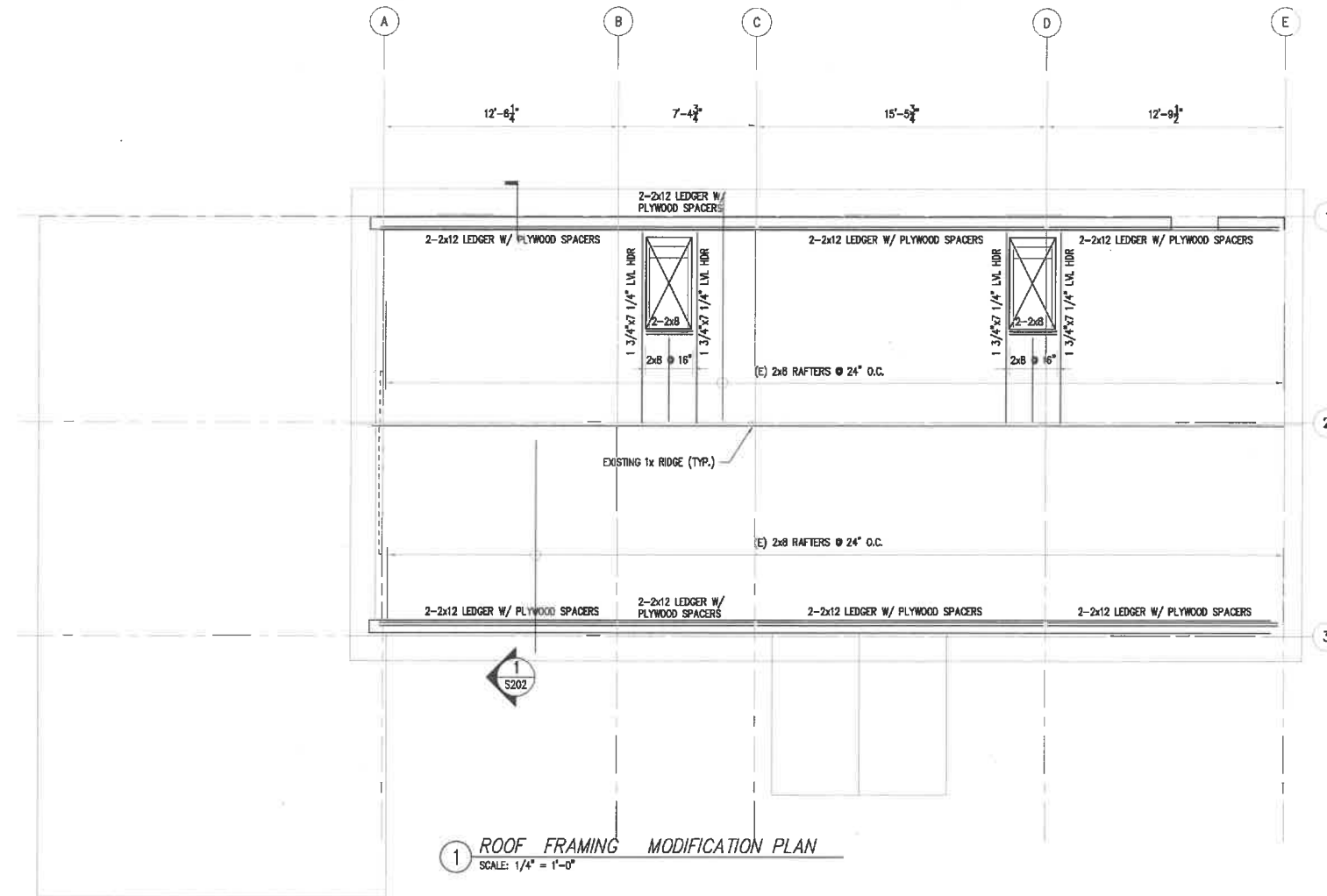
2ND FLOOR  
AND ROOF  
MODIFICATION  
PLANS

005-23  
DR PFK CK PFK  
CADFILE S101  
6/07/2023  
SHEET 3 OF 7

S102



PO Box 991  
Exeter, NH 03833  
(603) 583-2453

[illegible]

Vesta Building Renovation  
15 Winthrop Street  
Holliston MA  
*PREPARED FOR*  
Matz Collaborative Architects  
50 Speen Street Suite 300 Framingham MA 01701

DOF  
MODIFICATION  
PLAN

005-23

PFK	CK	PFK
-----	----	-----

FILE	S101
------	------

6/07/2023

SHEET 4 OF 7

S103



[illegible]

15 Winthrop Street  
Holliston MA  
PREPARED FOR  
Matz Collaborative Architects  
50 Speen Street suite 300 Framingham MA-01701



STRUCTURAL  
ALL  
ELEVATION —  
MODIFICATIONS

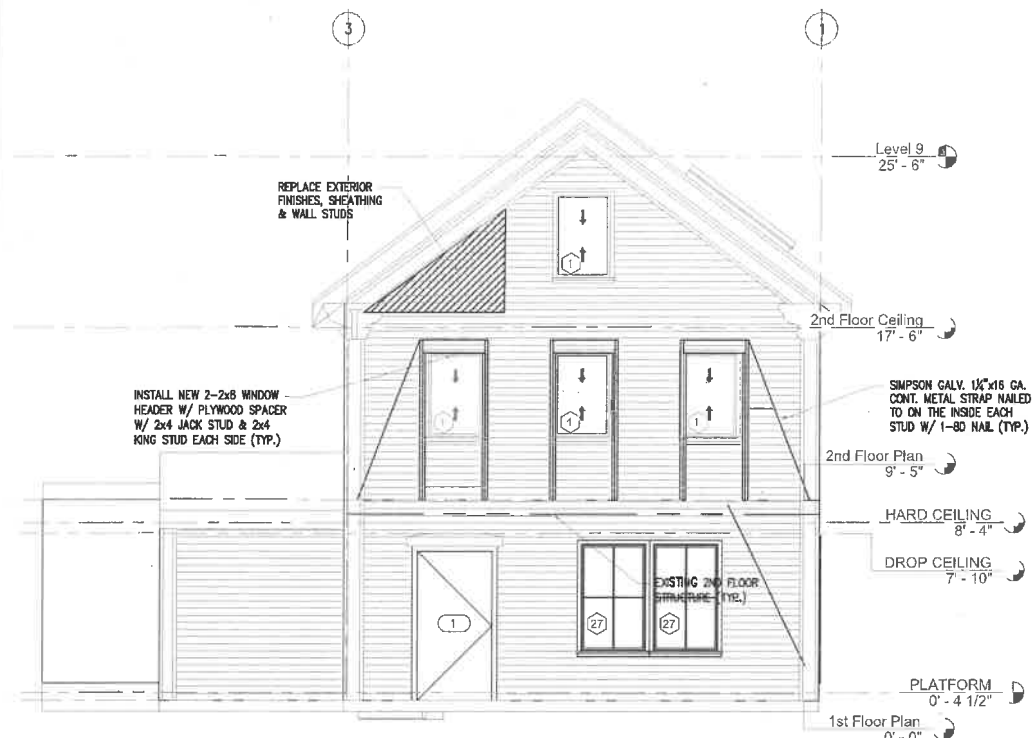
05-23

PFK	OK	PFK
FILE	S201	

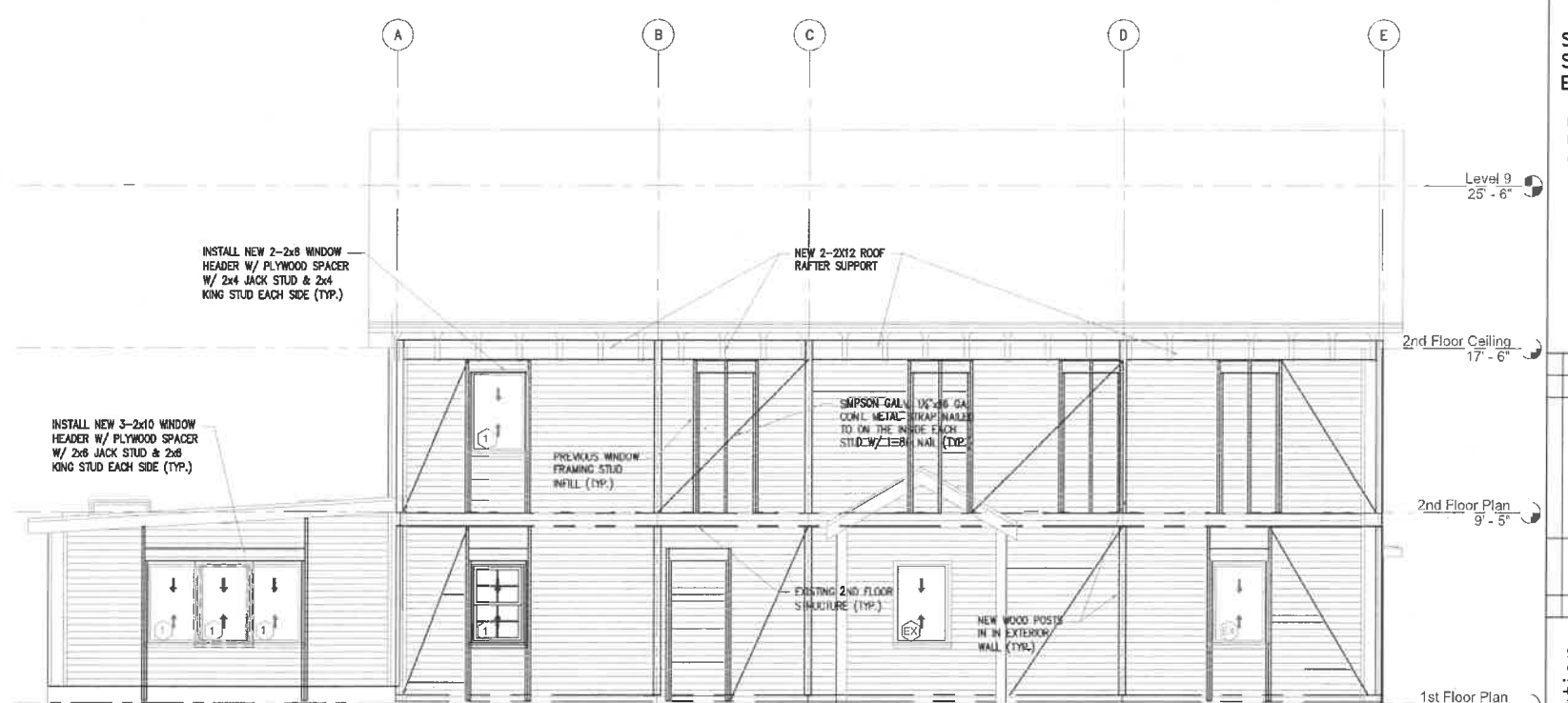
6/07/2023

SHEET 5 OF 7

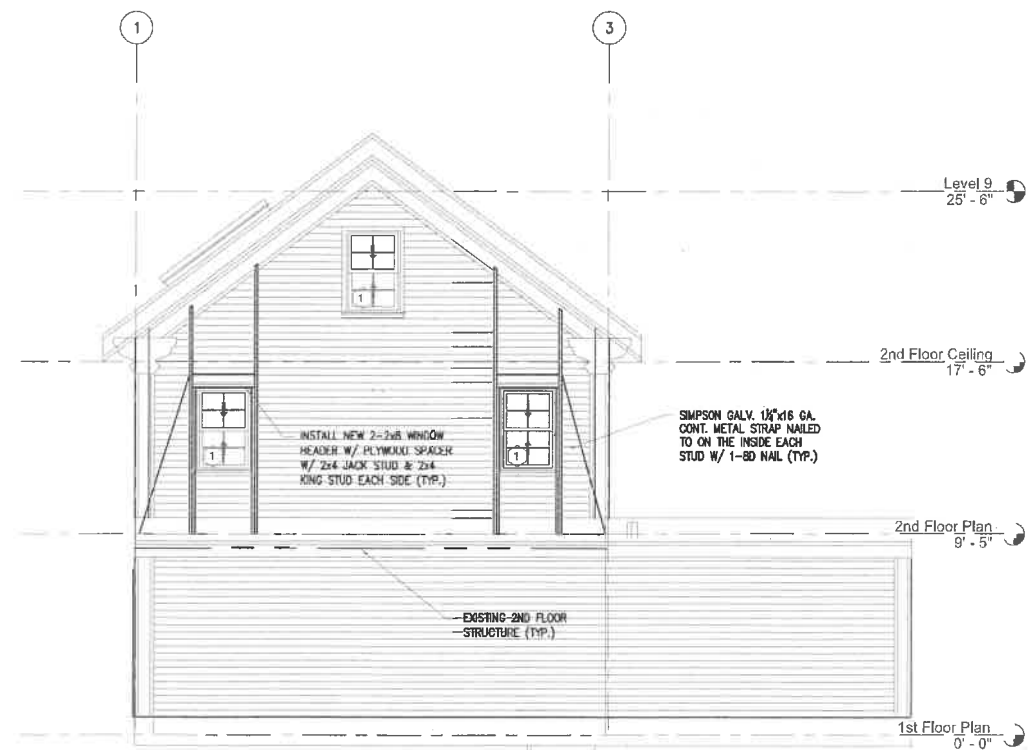
S201



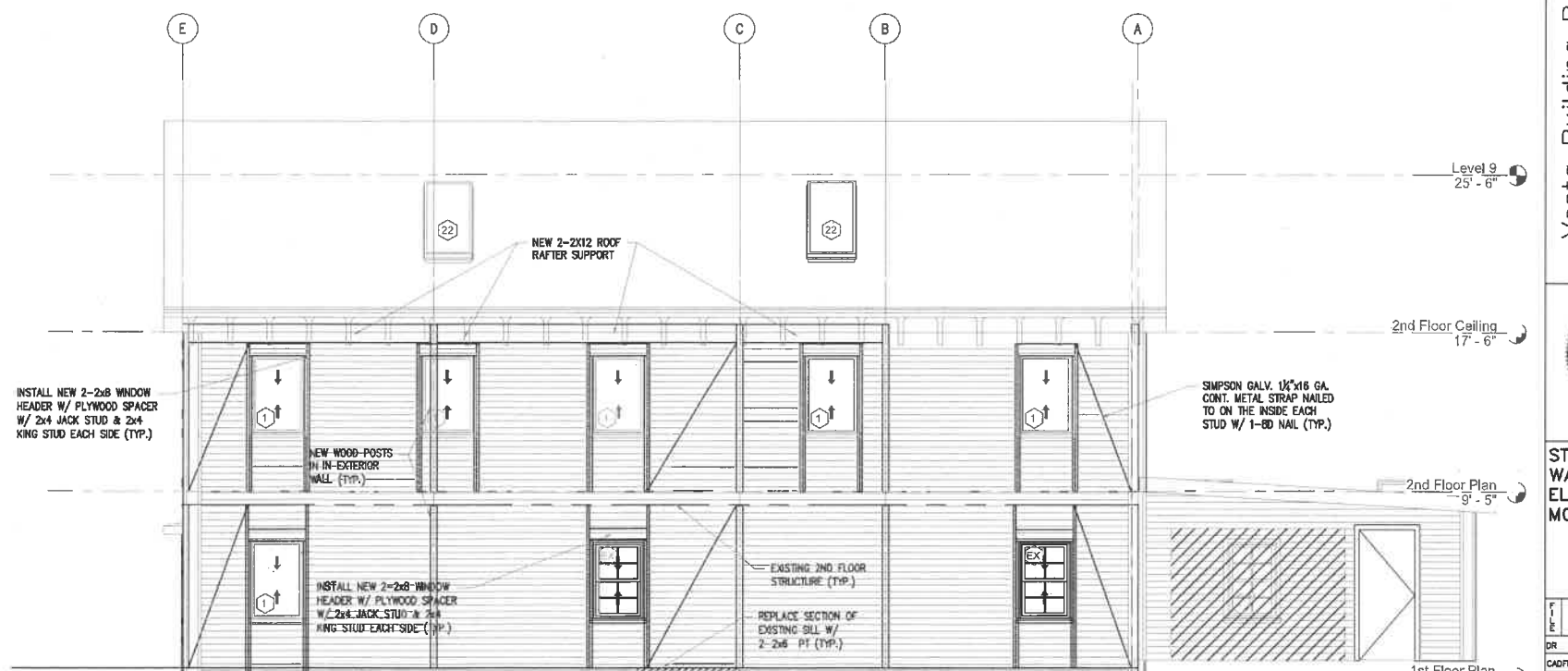
1 NORTH ELEVATION MODIFICATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION MODIFICATION  
SCALE: 1/4" = 1'-0"

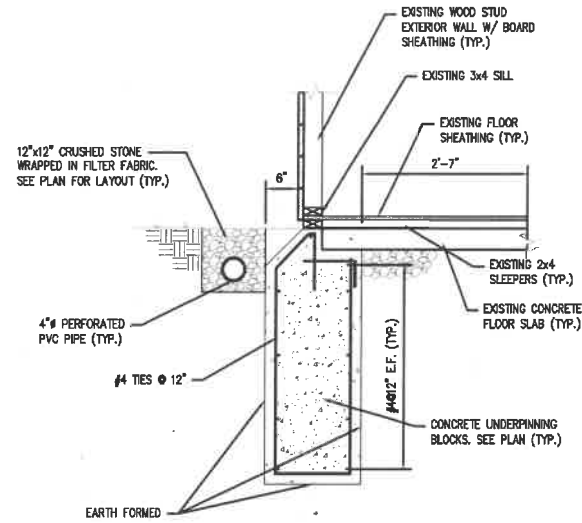


3. SOUTH ELEVATION MODIFICATION  
SCALE:  $1/4" = 1'-0"$

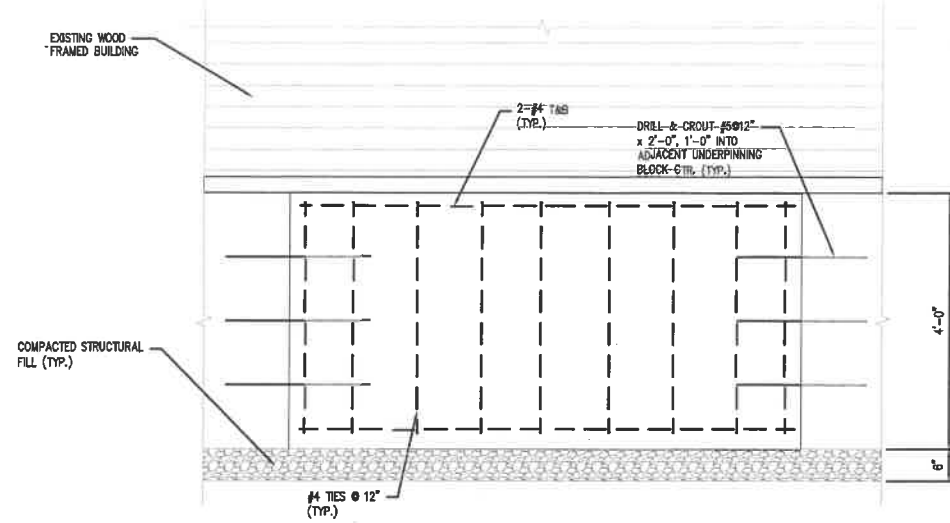


4 WEST ELEVATION MODIFICATION  
SCALE: 1/4" = 1'-0"

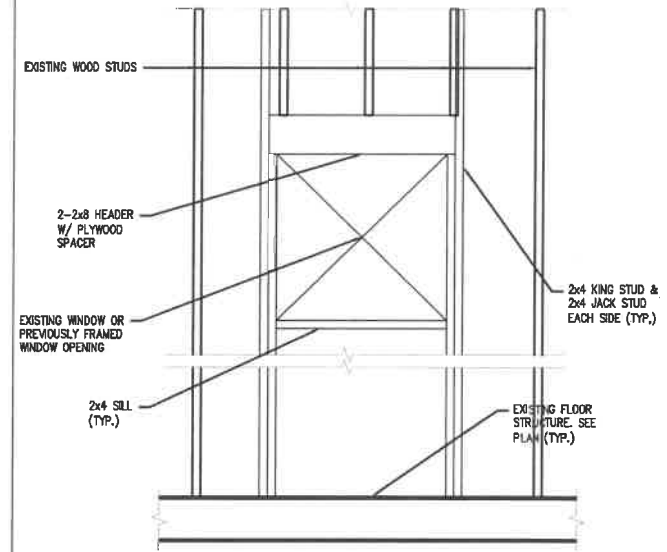




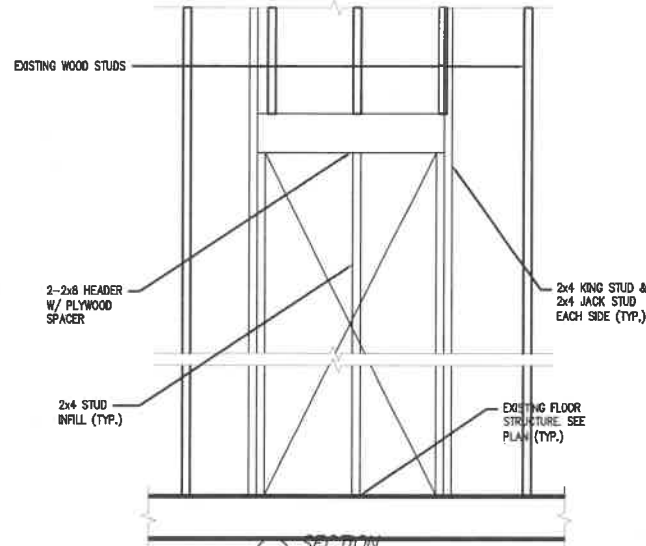
1 SECTION  
SCALE: 3/4" = 1'-0"



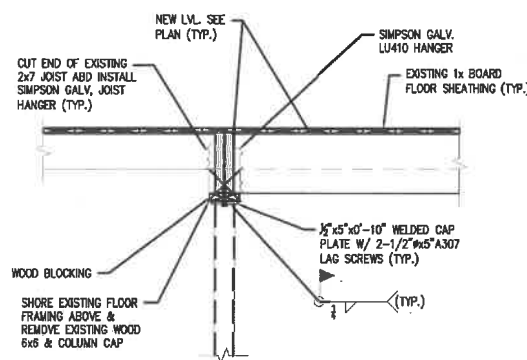
2 SECTION  
SCALE: 3/4" = 1'-0"



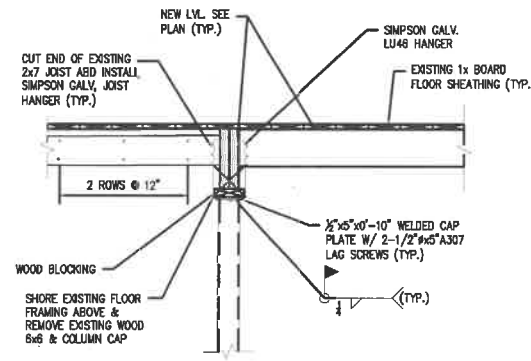
3 SECTION  
SCALE: 3/4" = 1'-0"



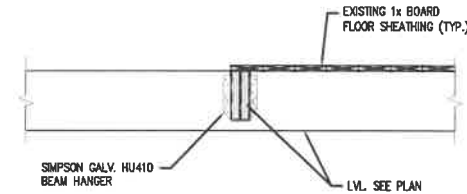
4 SECTION  
SCALE: 3/4" = 1'-0"



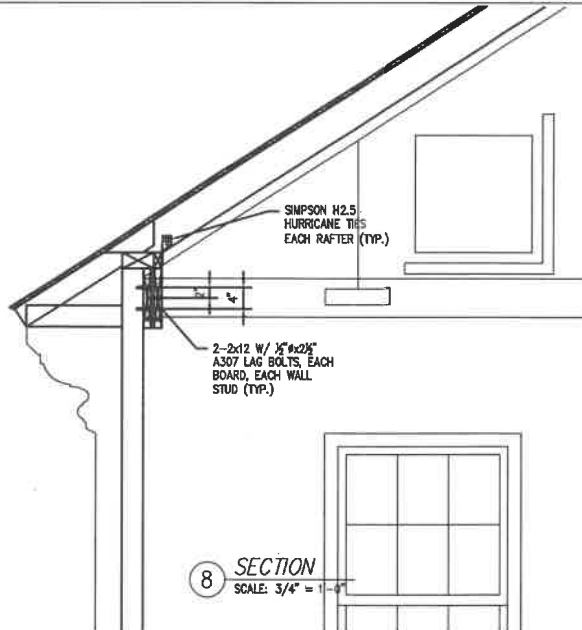
5 SECTION  
SCALE: 3/4" = 1'-0"



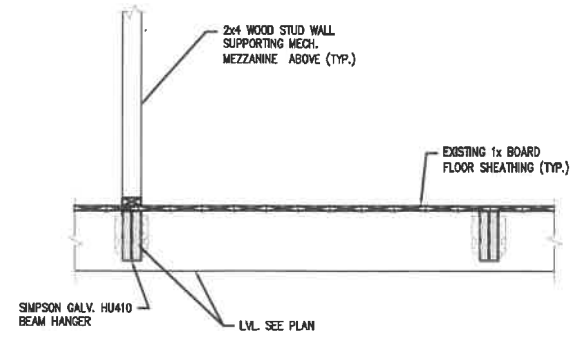
6 SECTION  
SCALE: 3/4" = 1'-0"



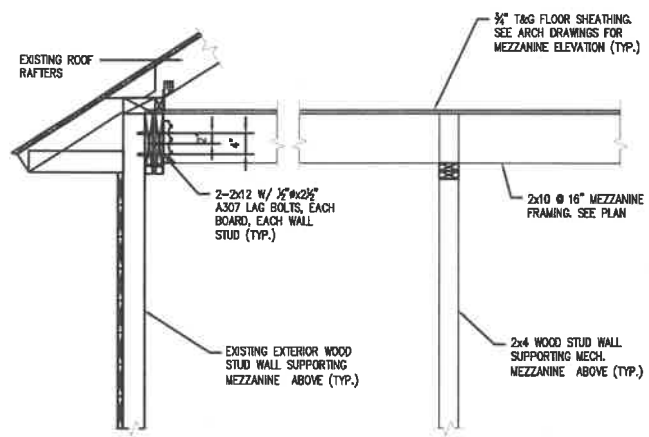
7 SECTION  
SCALE: 3/4" = 1'-0"



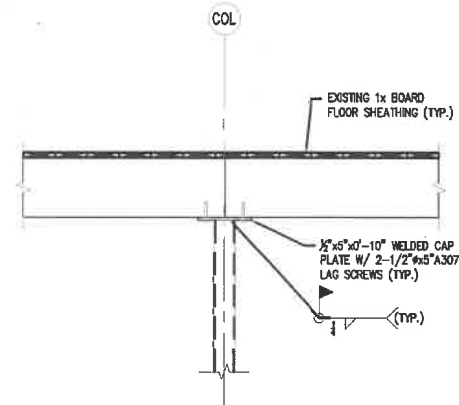
8 SECTION  
SCALE: 3/4" = 1'-0"



9 SECTION  
SCALE: 3/4" = 1'-0"



10 SECTION  
SCALE: 3/4" = 1'-0"



11 SECTION  
SCALE: 3/4" = 1'-0"



PO Box 991  
Exeter, NH 03833  
(603) 583-2453

Vesta Building Rehabilitation  
15 Winthrop Street  
Holliston MA  
PREPARED FOR  
Matz Collaborative Architects  
50 Speen Street Suite 300 Framingham MA 01701



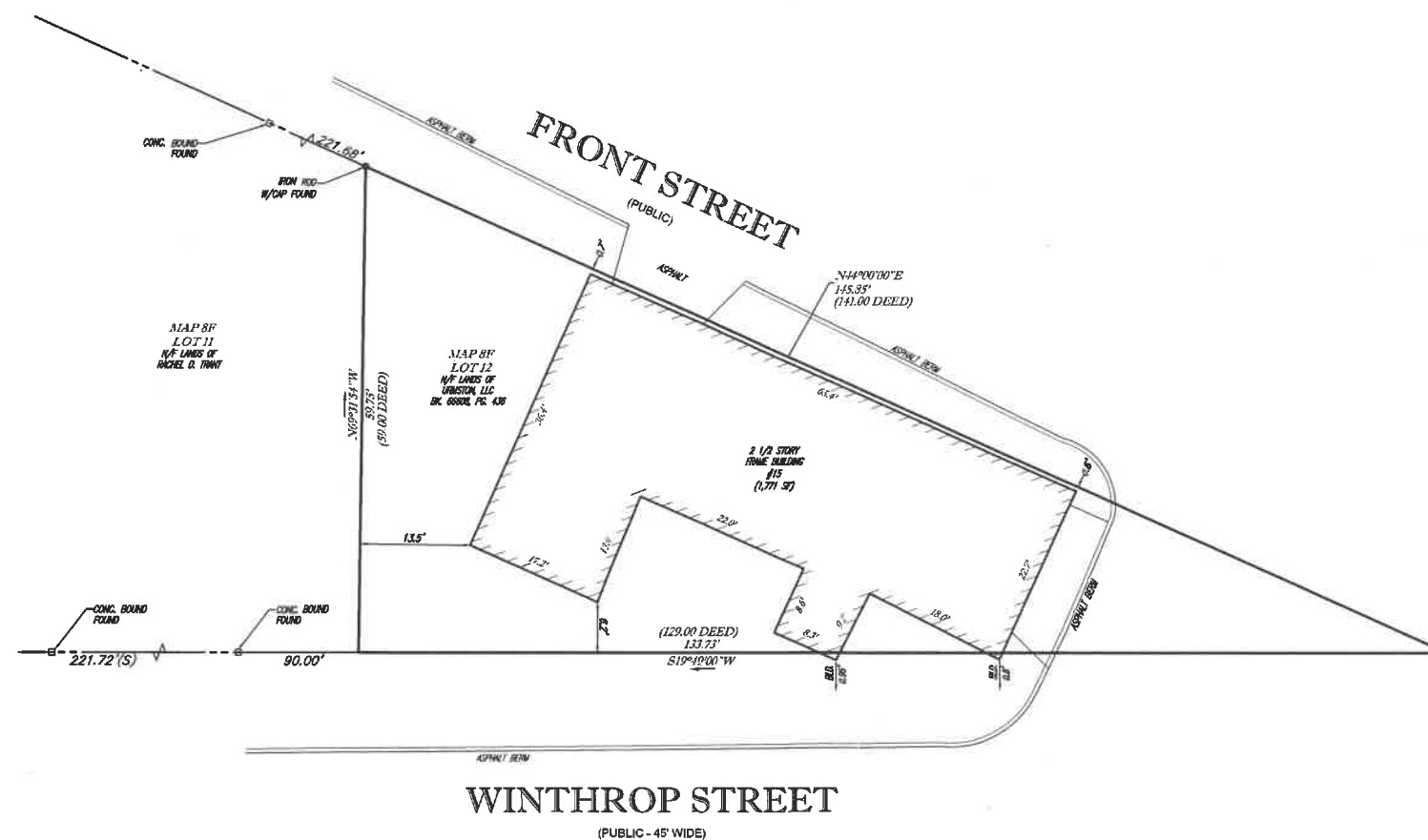
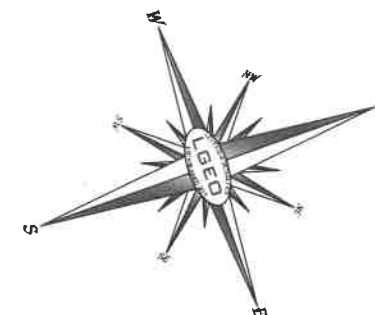
FOUNDATION  
AND FRAMING  
SECTIONS



005-23  
DATE: 6/07/2023  
SHEET 7 OF 7

S301

1. PROPERTY KNOWN AS MAP #7, LOT 12 AS SHOWN ON THE GIS MAPS OF THE TOWN OF HOLLISTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS.
2. AREA = 3.995 S.F. OR 0.092 ACRE.
3. THE BEARING BASIS OF THIS SURVEY IS BASED ON REFERENCE #1.
4. THIS PLAN IS FIELD ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE PAST BY LEVINSQUE GEOMATICS INC. AND OTHER REFERENCE MATERIALS AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE REVISIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE OBTAINED THEREIN.
6. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

1. MAP ENTITLED "PLAN OF LAND IN HOLLISTON, MASS.," DATED MARCH 18, 1948 AND FILED IN THE MIDDLESEX SOUTH LAND REGISTRATION OFFICE AS PLAN 19845A.
2. MAP ENTITLED "PLAN OF LAND IN HOLLISTON, MASS.," DATED NOVEMBER 21, 1968 AND FILED IN THE MIDDLESEX SOUTHERN DISTRICT REGISTRY OF DEEDS AS PLAN 4 OF 1970.
3. MAP ENTITLED "PLAN OF LAND IN HOLLISTON, MASS.," DATED AUGUST 29, 1966 AND FILED IN THE MIDDLESEX SOUTHERN DISTRICT REGISTRY OF DEEDS AS PLAN 1063 OF 1966.



REVISIONS			<p>PLOT PLAN OF MAP 8F, LOT 12</p> <p>PROPERTY OF URMSTON, LLC</p> <p>15 WINTHROP STREET TOWN OF HOLLISTON MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS</p>	<p>LEVESQUE GEOMATICS INC</p> <p>43 GLENDALE ROAD STURBRIDGE, MA 01518 PHONE: (508) 888-0041</p>		THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY APPLIED ACCURACY STANDARDS.	DATE	JUNE 2, 2020	JOB NO.	ED01-001
NO.	DATE	DESCRIPTION				THIS IS A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH PURSED IMPRESSION ON BLUE INK SEAL.	SCALE	1" = 10'	SHEET NO.	
							DRAWN	JIL		
						6/2/2020 DATE JOSEPH I. LEVESQUE III MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #33840	CHKD.	JIL		