

EAGLE PATH
DEFINITIVE SUBDIVISION IN
HOLLISTON, MASSACHUSETTS

FOR REGISTRY USE ONLY

NOTES

1. THIS LAND IS ZONED RESIDENTIAL.
2. THIS PLAN REFERS TO HOLLISTON ASSESSORS MAP 8.E BLOCK 3 LOT 19.3.
3. THE PARCEL IS LOCATED WITHIN A ZONE X PER FIRM MAP 25017C0629E (DATE 6-4-2010).
4. THE PARCEL IS NOT LOCATED WITHIN A NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (NHESP) AREA DESIGNATED AS AN ESTIMATED OR PRIORITY HABITAT AREA.
5. THERE ARE NO CERTIFIED VERNAL POOLS LOCATED ON THE LOT.
6. THE VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATIONS TAKEN ON JULY 31, 2019.
7. THE WETLANDS DEPICTED HEREON WERE DELINEATED IN THE FIELD BY GODDARD CONSULTING, LLC. AND FIELD LOCATED ON JULY 31, 2019.

PLAN REFERENCES:

- 1) SEE THE FOLLOWING PLANS RECORDED AT THE MIDDLESEX DISTRICT REGISTRY OF DEEDS.

PLAN 601 OF 2013
PLAN 1014 OF 2007
PLAN 1431 OF 2005
PLAN 1246, 320, 199 OF 2000
PLAN 103 OF 1958
PLAN 1892, 1891 OF 1957
PLAN 1207, 1 OF 1958
PLAN 1587 OF 1955

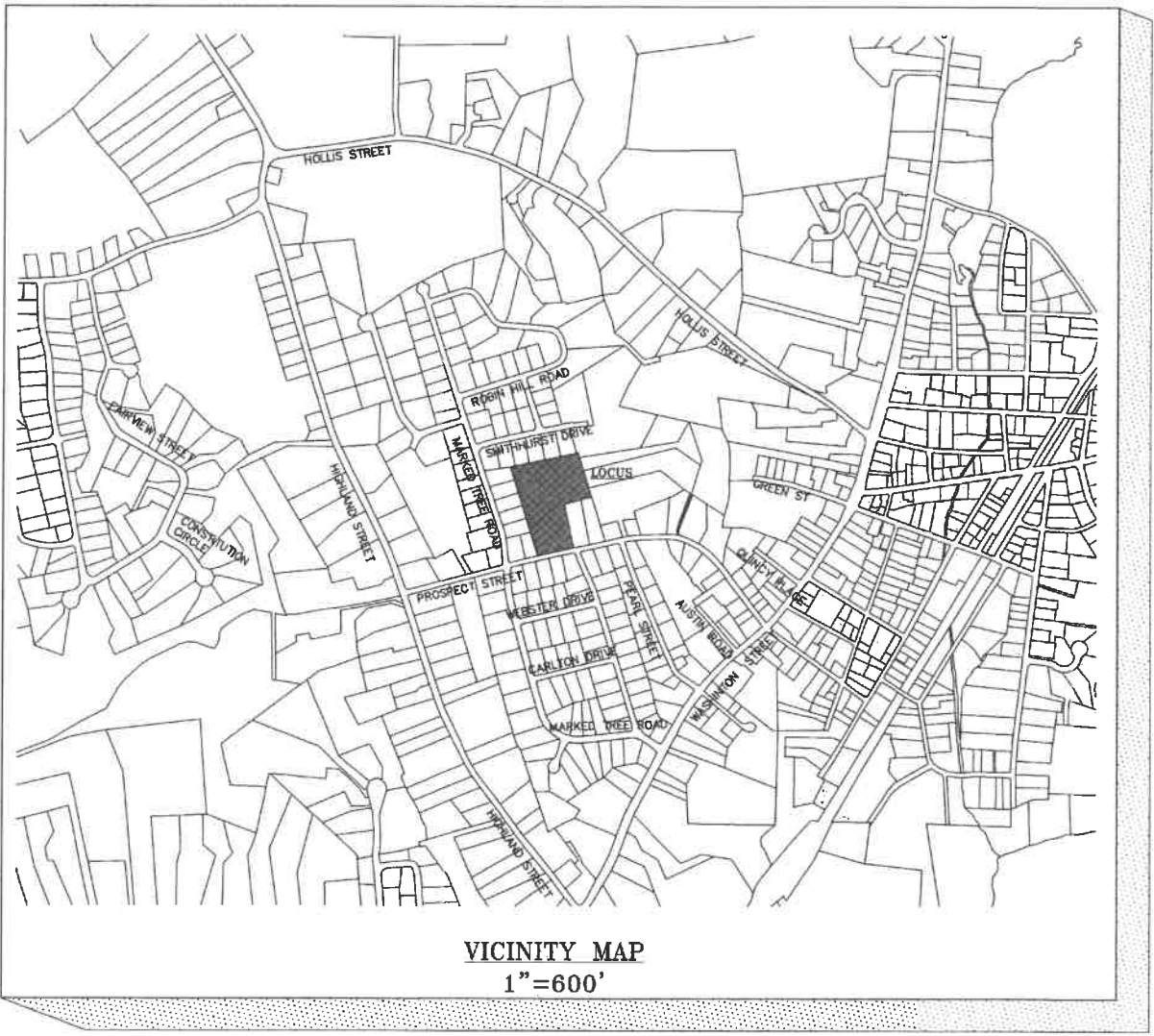
ZONING: RESIDENTIAL

	REQUIRED
MINIMUM LOT AREA	30,000 SF
MINIMUM LOT FRONTAGE	120'
MINIMUM LOT DEPTH	150'
MINIMUM YARDS	
FRONT	30'
SIDE	20'
REAR	30'
% OF LOT UPLAND COVERED BY STRUCTURES	30
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM STORIES	2.5

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENT MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. AND SHOULD BE CONSIDERED APPROXIMATE. DURING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY BE ENCOUNTERED BY CONTRACTORS (IN ACCORDANCE WITH MASS. GEN. LAWS, CHAPTER 82, SECTION 40, AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



SHEET INDEX

SHEET	DESCRIPTION
1	KEY SHEET
2	LOTING PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	GRADING & UTILITY PLAN
5	PLAN AND PROFILE
6	LAYOUT AND EROSION CONTROL
7	NOTES AND DETAILS
8	NOTES AND DETAILS

WAIVER REQUESTS

1. SECTION 5.5.3 EXTERIOR LIGHTING: APPLICANT REQUESTS TO INSTALL LIGHTS AT THE END OF THE INDIVIDUAL DRIVEWAYS IN LIEU OF STREET LIGHTING.
2. SECTION V-H 2 (B) THE APPLICANT REQUEST TO CONSTRUCT A CONVENTIONAL SUBDIVISION INSTEAD OF A OPEN SPACE RESIDENTIAL DEVELOPMENT



PROFESSIONAL LAND SURVEYOR

Robert J. Halton
PROFESSIONAL ENGINEER
9-18-21

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

"I, ELIZABETH TURNER GREENDALE, CLERK OF THE TOWN OF HOLLISTON, RECEIVED AND RECORDED FROM THE PLANNING BOARD, COVENANT APPROVAL OF THIS PLAN ON [DATE] AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME."

TOWN CLERK

DATE

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746

DEED BOOK 47446 PAGE 380

EAGLE PATH

KEY SHEET

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN

HOLLISTON, MASS.

SCALE: 1"=600'

DATE: APRIL 29, 2021

REVISION DATE : SEPTEMBER 10,2021

Guerriere & Halton, Inc.
ENGINEERING & LAND SURVEYING

333 WEST STREET PH. (508) 473-6630
MILFORD, MA 01757 FX. (508) 473-8243
www.gandhengineering.com

SHEET

1 of 8

G-10212

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NOTES

1) SEE THE FOLLOWING PLANS RECORDED AT THE MIDDLESEX DISTRICT REGISTRY OF DEEDS.

PLAN 601 OF 2013
PLAN 1014 OF 2007
PLAN 1431 OF 2005 (Driveway easement)
PLAN 1246, 320, 199 OF 2000
PLAN 103 OF 1958
PLAN 1892, 1891 OF 1957
PLAN 1207, 1 OF 1956
PLAN 1587 OF 1955

2) ZONING CLASSIFICATION:

RESIDENTIAL

MINIMUM AREA- 30,000 SF
MINIMUM FRONTAGE- 120'
MINIMUM DEPTH- 150'
SETBACKS- FRONT 30' SIDE 20' REAR 30'
MAXIMUM BUILDING COVERAGE- 30%
MAXIMUM HEIGHT- 35'
MAXIMUM STORIES- 2.5

3) THE VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATIONS TAKEN ON JULY 31, 2019.


4) THE WETLANDS DEPICTED HEREON WERE DELINEATED IN THE FIELD BY GODDARD CONSULTING, LLC AND IN JULY 2019.


THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF APPROVAL OF THE WITHIN PLAN WAS RECORDED BY ME ON _____ AT _____ AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK _____ DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTRY OF DEEDS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LAND DEPICTED HEREON.

 9-10-2021
JEFFREY J. STEFANK PLS DATE



APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

"I, ELIZABETH TURNER GREENDALE, CLERK OF THE TOWN OF HOLLISTON, RECEIVED AND RECORDED FROM THE PLANNING BOARD, COVENANT APPROVAL OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME."

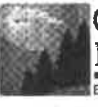
TOWN CLERK _____ DATE _____

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

EAGLE PATH
LOTING PLAN

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.
SCALE: 1"=40'
DATE: APRIL 29, 2021
REVISION DATE: SEPTEMBER 10, 2021

GRAPHIC SCALE: 1"=40'
0 10 20 30 40 50 75 100
FEET
0 5 10 15 20 30
METERS

**Guerriere & Halnon, Inc.**
ENGINEERING & LAND SURVEYING
333 WEST STREET PH. (508) 473-6630
MILFORD, MA 01757 FX. (508) 473-8243
www.gandhengineering.com

PLAN SHEET 2 OF 8
REGISTRY SHEET 1 of 1 **G-10212**

TEST PIT INFORMATION

TESTING DATE: 11/05/2020
SOIL EVALUATOR: DAN HAZEN
WITNESSED: SCOTT MOLES

TP #B-1		TP #B-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR3/3 A	
SANDY LOAM	6"-36"	SANDY LOAM	6"-36"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	36"-108"	SANDY LOAM	36"-120"
2.5Y6/2 C		2.5Y6/2 C	
MOTTLES @ 28"		MOTTLES @ 27"	

LOCATION: LOT 1

TP #1-1		TP #1-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR3/3 A	
SANDY LOAM	6"-24"	SANDY LOAM	6"-24"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	24"-108"	SANDY LOAM	24"-80"
2.5Y6/2 C		2.5Y6/2 C	
MOTTLES @ 26"		MOTTLES @ 27"	

PERC RATE: 5 MIN./INCH

LOCATION: LOT 2

TP #2-1		TP #2-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR2/2 A	
SANDY LOAM	6"-30"	SANDY LOAM	6"-24"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	30"-120"	SANDY LOAM	24"-120"
2.5Y6/2 C		2.5Y6/2 C	
MOTTLES @ 30"		MOTTLES @ 30"	

PERC RATE: 11 MIN./INCH

LOCATION: LOT 3

TP #3-1		TP #3-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR2/2 A	
SANDY LOAM	6"-30"	SANDY LOAM	6"-30"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	30"-98"	SANDY LOAM	30"-108"
2.5Y6/3 C		2.5Y6/3 C	
MOTTLES @ 30"		MOTTLES @ 30"	

PERC RATE: 7 MIN./INCH

LOCATION: LOT 4

TP #4-1		TP #4-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR2/2 A	
SANDY LOAM	6"-18"	SANDY LOAM	6"-18"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	18"-108"	SANDY LOAM	18"-132"
2.5Y6/2 C		2.5Y6/2 C	
MOTTLES @ 24"		MOTTLES @ 24"	

PERC RATE: 10 MIN./INCH

UTILITIES ARE PLOTTED AS A COMPILE OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO REVEAL A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. ANY EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY BE DISCOVERED BY CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82, SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



PLAN 1431 OF 2005



PROFESSIONAL LAND SURVEYOR
Robert J. Halton
PROFESSIONAL ENGINEER
9-10-21

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

1) SEE THE FOLLOWING PLANS RECORDED AT THE MIDDLESEX DISTRICT REGISTRY OF DEEDS.

PLAN 601 OF 2013
PLAN 1014 OF 2007
PLAN 1431 OF 2005
PLAN 1246, 320, 199 OF 2000
PLAN 103 OF 1958
PLAN 1892, 1891 OF 1957
PLAN 1207, 1 OF 1956
PLAN 1587 OF 1955

2) ZONING CLASSIFICATION: RESIDENTIAL
MINIMUM AREA- 30,000 SF
MINIMUM FRONTAGE- 120'
MINIMUM DEPTH- 150'
SETBACKS- FRONT 30' SIDE 20' REAR 30'
MAXIMUM BUILDING COVERAGE- 30%
MAXIMUM HEIGHT- 35'
MAXIMUM STORIES- 2.5

3) THE VERTICAL DATUM IS NAVD83 BASED ON GPS OBSERVATIONS TAKEN ON JULY 31, 2018.

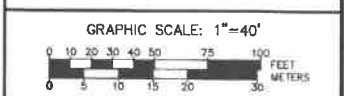
4) WETLANDS WERE DELINEATED BY GODDARD CONSULTING LLC ON June 26, 2021, AND FIELD LOCATED BY GUERRIERE & HALTON, INC. ON JULY 31, 2019.

5) PROPERTY LOCATED IN THE ZONE X OF FIRM MAP 25017C0829E (DATE 6-4-2010)

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

EAGLE PATH
EXISTING CONDITIONS
& DEMOLITION PLAN

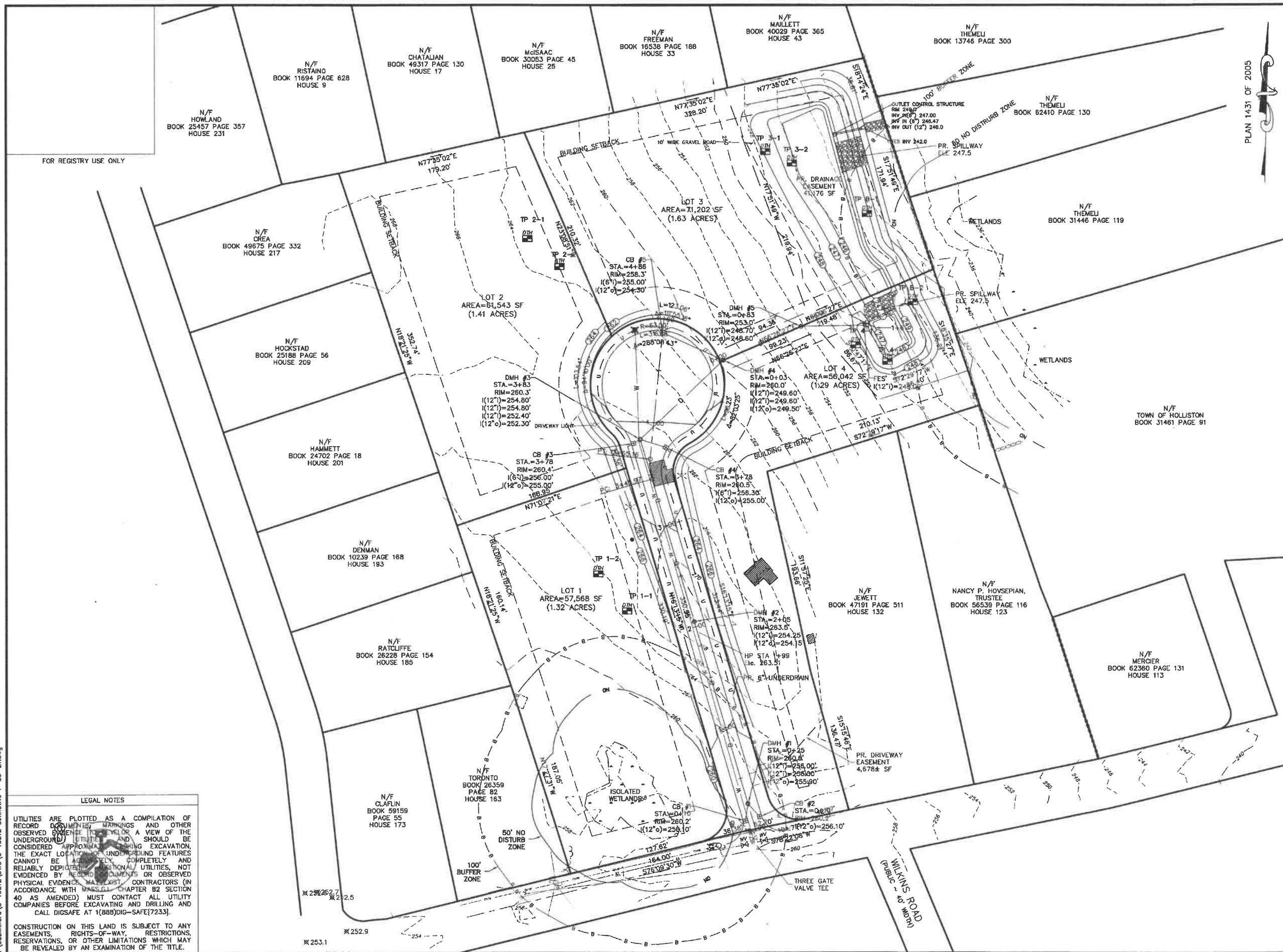
DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.
SCALE: 1"=40'
DATE: APRIL 29, 2021
REVISION DATE: SEPTEMBER 10, 2021




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SHEET 3 OF 8 G-10212

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PROFESSIONAL LAND SURVEYOR

PROFESSIONAL ENGINEER

9-10-21


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195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

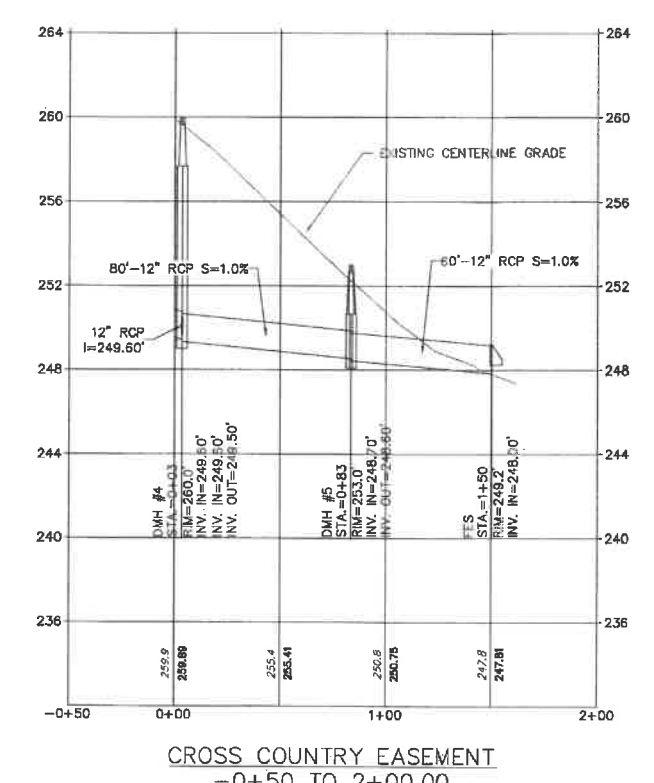
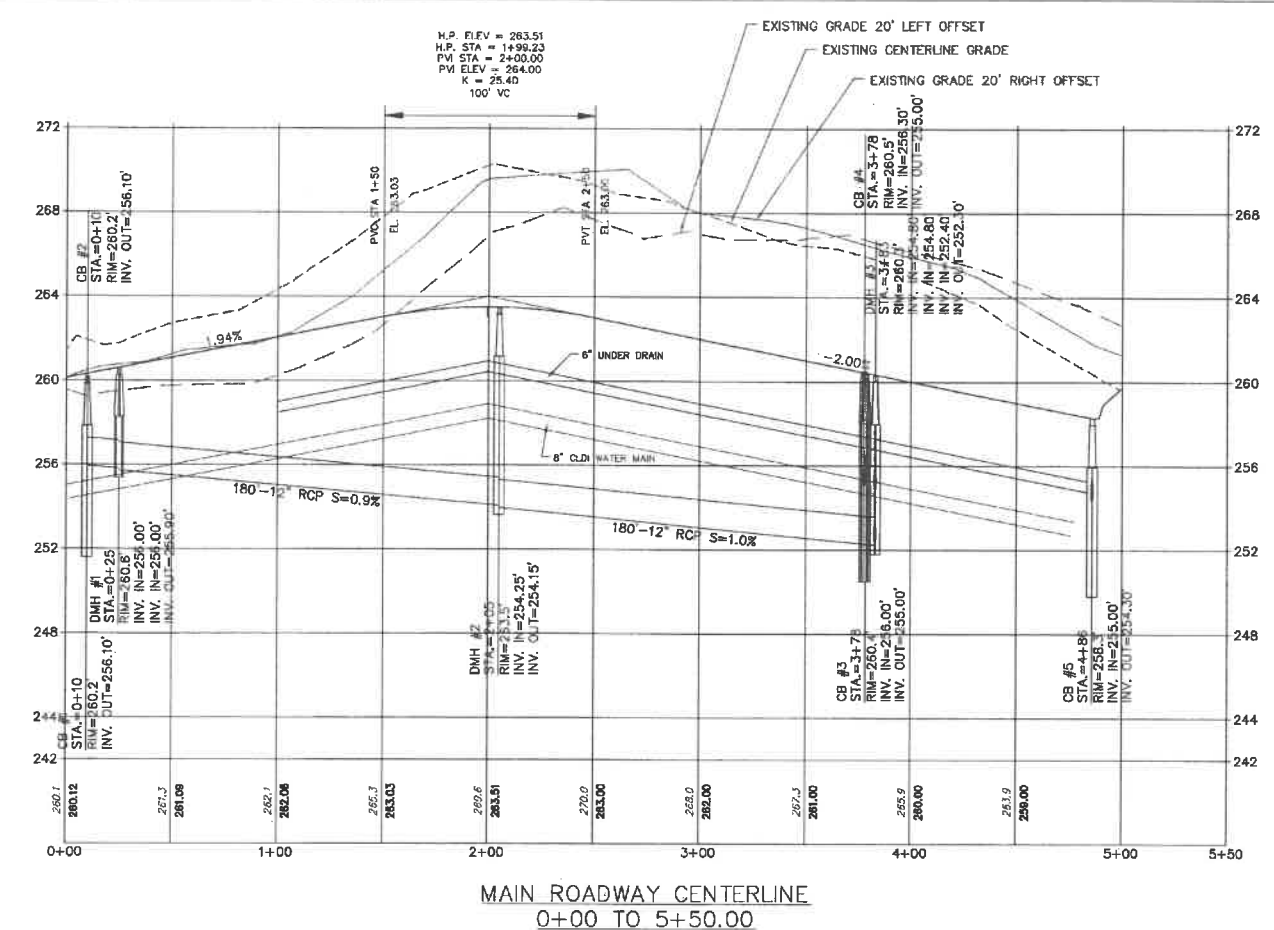
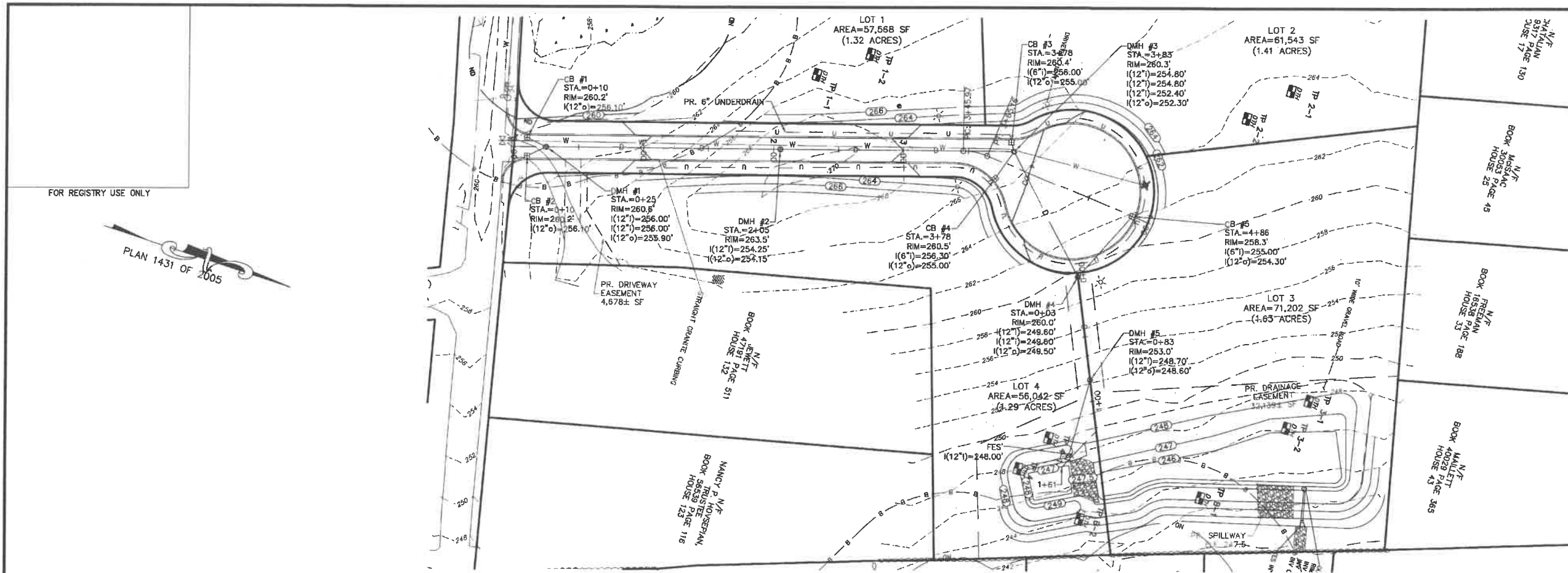
EAGLE PATH
GRADING AND
UTILITY PLAN
DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.
SCALE: 1"=40'
DATE: APRIL 29, 2021
REVISION DATE : SEPTEMBER 10, 2021

GRAPHIC SCALE: 1"=40'
0 10 20 30 40 50 60 70 80 90 100
FEET
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METERS

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SHEET 4 OF 8 G-10212

G-10212



LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF
RECORD DOCUMENTS, MANNINGS AND OTHER
OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE
UNDERGROUND UTILITIES AND SHOULD BE
CONSIDERED APPROXIMATE EXCAVATION
LOCATIONS OF UNDERGROUND FEATURES
CANNOT BE ACCURATELY, COMPLETELY, AND
RELIABLY DEPICTED BY ADDITIONAL UTILITIES, NOT
EVIDENCED BY RECORD DOCUMENTS OR OBSERVED
PHYSICAL EVIDENCE. MAJORUST CONTRACTORS (IN
ACCORDANCE WITH MASS.GLC CHAPTER 82 SECTION
40 AS AMENDED) MUST CONTACT ALL UTILITY
COMPANIES BEFORE EXCAVATING AND DRILLING AND
CALL DIGSAFE AT (1-888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY
EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS,
RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY
BE REVEALED BY AN EXAMINATION OF THE TITLE.

SEAL OF THE BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS, STATE OF MASSACHUSETTS. The seal is circular with a gear-like outer edge. The text "COMMONWEALTH OF MASSACHUSETTS" is at the top, "REGISTERED PROFESSIONAL ENGINEER" is at the bottom, and "ROBERT J. DUFF No. 45707 CIVIL" is in the center.

PROFESSIONAL LAND
SURVEYOR

Robert G. Duff
PROFESSIONAL
ENGINEER
9-10-21

APPROVAL UNDER THE SUBDIVISION CONTROL
LAW IS REQUIRED

DATE	BEING A MAJORITY
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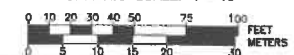
MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

EAGLE PATH

PLAN AND PROFILE

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.
SCALE: 1"=40'
DATE: APRIL 29, 2021
REVISION DATE : SEPTEMBER 10, 2021

GRAPHIC SCALE: 1"=40'



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SHEET

5 OF 8

G-10212

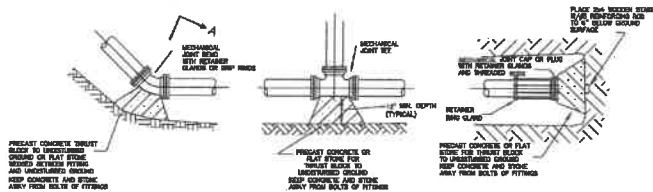


DATE BEING A MAJORITY

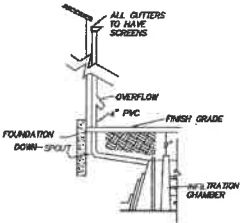
G-10212

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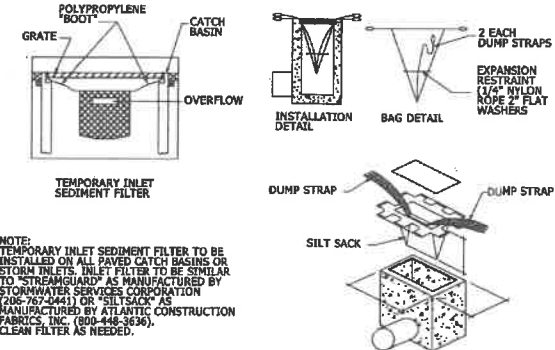
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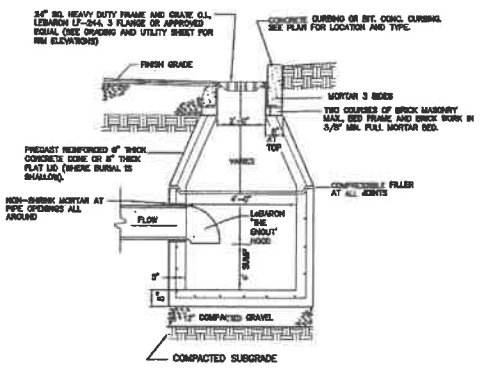
TYPICAL THRUST BLOCK DETAILS



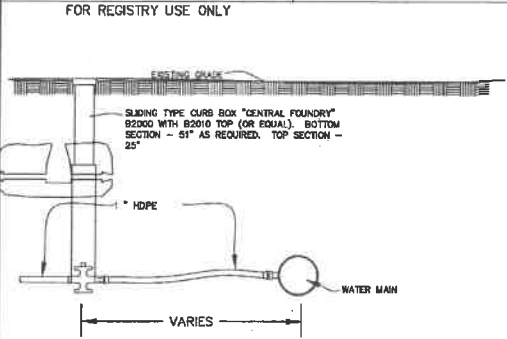
ROOF DRAIN DETAIL
N.T.S.



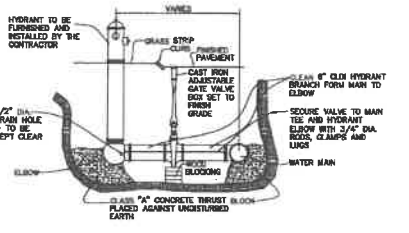
SILT SACK DETAIL



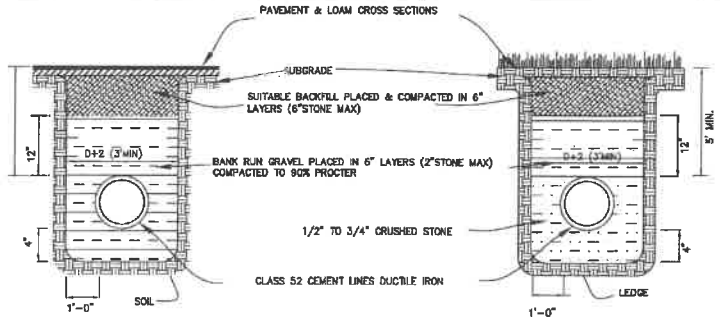
TYP. PRECAST CONCRETE
CATCH BASIN DETAIL
NOT TO SCALE



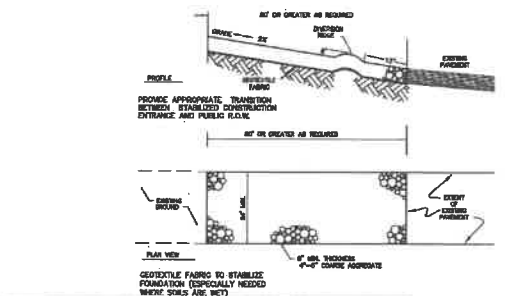
TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



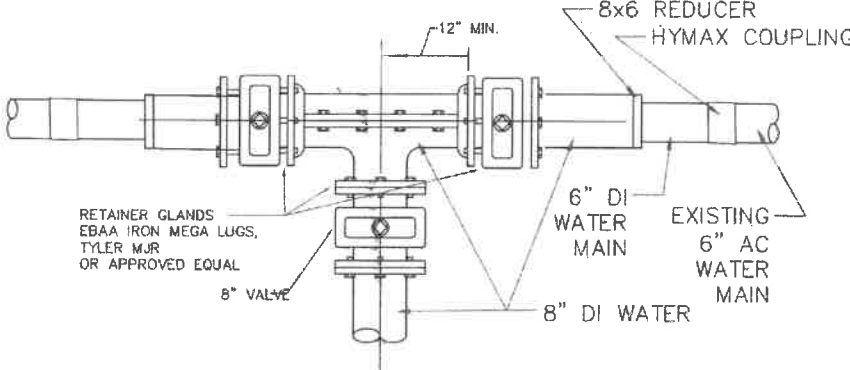
TYPICAL HYDRANT
NOT TO SCALE



TYPICAL TRENCH SECTION FOR D.I. WATER
MAIN (TYPE 5 BEDDING AWWAC-600)



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

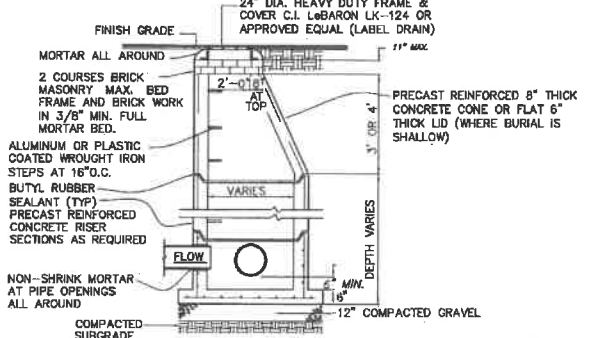


RESTRAINED JOINT SCHEDULE

PIPE SIZE	90°	45°	22 1/2°	11 1/4°
12"	82'	38'	18'	9'
10"	78'	32'	16'	8'
8"	66'	27'	13'	7'
6"	51'	21'	10'	5'
4"	38'	16'	8'	4'

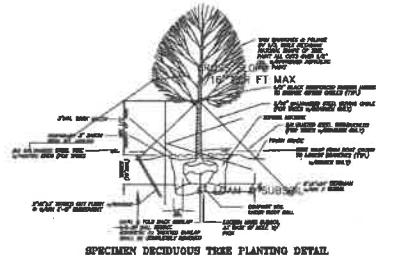
- NOTES:
1. RESTRAINED LENGTH FOR TEES, CROSSES, VALVES AND PLUGS SHALL EQUAL RESTRAINED LENGTH FOR 90° BENDS.
 2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING RESTRAINED JOINTS.
 3. THE SCHEDULE SHOWN IS FOR THE FOLLOWING SERVICE CONDITIONS: 200 PSI INTERNAL PRESSURE, SOIL TYPE: SAND-SILT, 60 INCHES OF COVER AND TYPE 2 LAYING CONDITIONS.
 4. RESTRAINED LENGTHS SHOWN IN TABLE ARE MINIMUM LENGTHS (IN FEET) AND ARE REQUIRED IN EACH DIRECTION FROM FITTINGS OR VALVES.

3 GATE VALVE DETAIL
N.T.S.

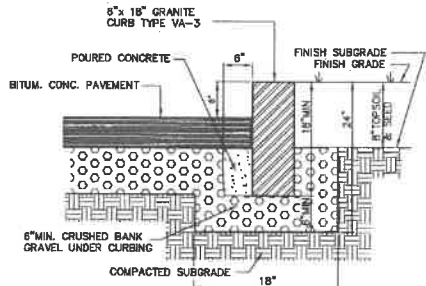


TYP. PRECAST CONCRETE
MANHOLE STORM DRAIN
N.T.S.

NOTE: ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF THE HOLLISTON REGULATIONS 5.3.4



SPECIMEN DECIDUOUS TREE PLANTING DETAIL



TYP. VERTICAL GRANITE CURB
N.T.S.

NOTE: INSTALL WITHIN ALL PUBLIC WAYS, CORNERS, AND RADIUS SECTIONS

LEGAL NOTES

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PROFESSIONAL LAND SURVEYOR

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746

DEED BOOK 47446 PAGE 380

EAGLE PATH

CONSTRUCTION
DETAILS

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.
SCALE: 1"=40'
DATE: APRIL 29, 2021
REVISION DATE SEPTEMBER 10, 2021

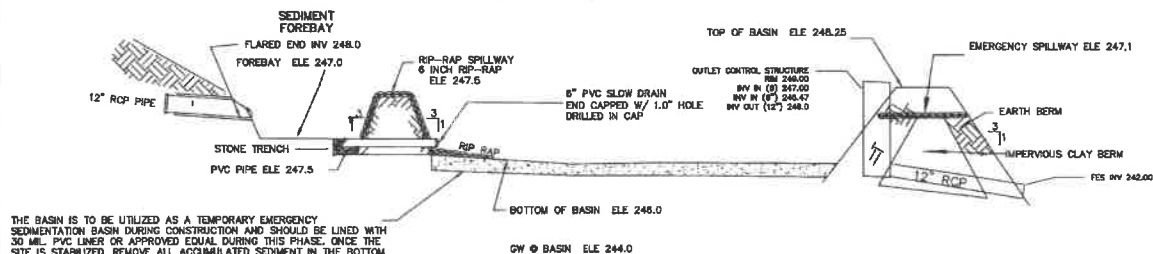
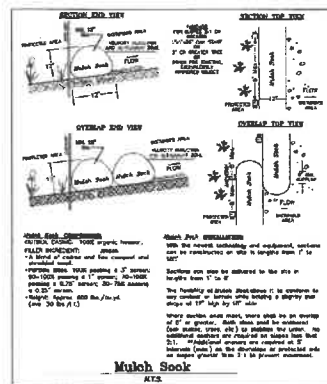
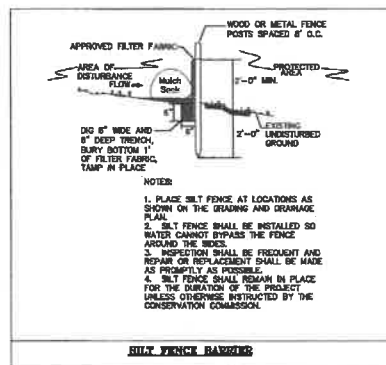
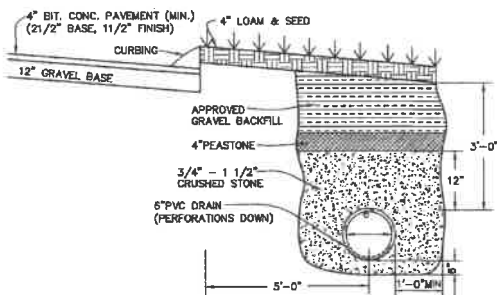
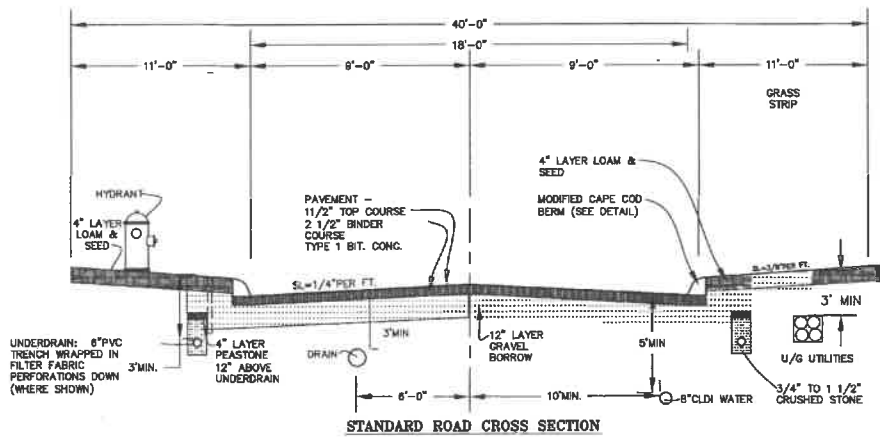
GRAPHIC SCALE: 1"=40'
0 10 20 30 40 50 75 100
0 5 10 15 20 30
FEET
METERS

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
333 WEST STREET PH. (508) 473-6630
MILFORD, MA 01757 FX. (508) 473-8243
www.gandhengineering.com

SHEET
7 OF 8

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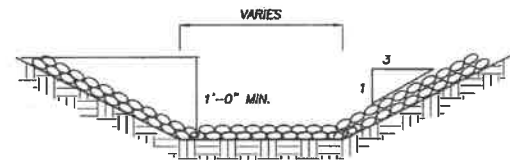
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NOTES:

1. AREA BENEATH THE BASIN TO BE STRIPPED OF TOPSOIL AND SUBSOIL. REFER TO TEST PIT NOTED FOR ADDITIONAL INFORMATION.
2. BASIN TO BE REMEDED BY ENGINEER TO ENSURE CONSTRUCTION IN COMPLIANCE WITH THE DESIGN PLANS.

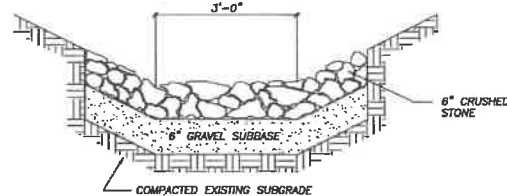
INFILTRATION BASIN



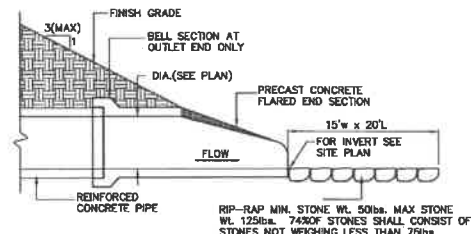
EMERGENCY SPILLWAY DETAIL

NOTES:

1. FILTER MATERIAL BENEATH RIP-RAP UNLESS BANK IS OF GRAVEL AND COURSE SAND MIX. (5" MIN. THICKNESS).
2. MINIMUM WEIGHT OF STONE = 50 LBS.; MAXIMUM WEIGHT = 125 LBS.
3. 75% OF TOTAL STONE VOLUME TO BE MIN. 75 LB. STONES.
4. MINIMUM DEPTH OF RIP-RAP TO BE 18".



CRUSHED STONE SWALE DETAIL



TYPICAL PRECAST CONCRETE FLARED-END SECTION DETAIL

GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

1. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
2. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
4. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
5. ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
6. THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
7. SEDIMENT BUILD UP BEHIND MULCH SOCK SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
8. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
10. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
12. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
13. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
14. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
15. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
16. SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
17. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
18. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED.

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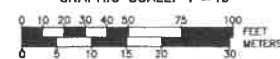
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DEED BOOK 47446 PAGE 380

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