

EAGLE PATH  
DEFINITIVE SUBDIVISION IN  
HOLLISTON, MASSACHUSETTS

FOR REGISTRY USE ONLY

NOTES

1. THIS LAND IS ZONED RESIDENTIAL.
2. THIS PLAN REFERS TO HOLLISTON ASSESSORS MAP 8.E BLOCK 3 LOT 19.3.
3. THE PARCEL IS LOCATED WITHIN A ZONE X PER FIRM MAP 25017C0629E (DATE 6-4-2010).
4. THE PARCEL IS NOT LOCATED WITHIN A NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (NHESP) AREA DESIGNATED AS AN ESTIMATED OR PRIORITY HABITAT AREA.
5. THERE ARE NO CERTIFIED VERNAL POOLS LOCATED ON THE LOT.
6. THE VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATIONS TAKEN ON JULY 31, 2019.
7. THE WETLANDS DEPICTED HEREON WERE DELINEATED IN THE FIELD BY GODDARD CONSULTING, LLC. AND FIELD LOCATED ON JULY 31, 2019.

PLAN REFERENCES:

1) SEE THE FOLLOWING PLANS RECORDED AT THE MIDDLESEX DISTRICT REGISTRY OF DEEDS.

PLAN 601 OF 2013  
PLAN 1014 OF 2007  
PLAN 1431 OF 2005  
PLAN 1246, 320, 199 OF 2000  
PLAN 103 OF 1958  
PLAN 1892, 1891 OF 1957  
PLAN 1207, 1 OF 1956  
PLAN 1587 OF 1955

ZONING: RESIDENTIAL

	REQUIRED
MINIMUM LOT AREA	30,000 SF
MINIMUM LOT FRONTAGE	120'
MINIMUM LOT DEPTH	150'
MINIMUM YARDS	
FRONT	30'
SIDE	20'
REAR	30'
% OF LOT UPLAND COVERED BY STRUCTURES	30
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM STORIES	2.5

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

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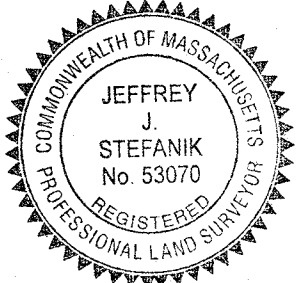
VICINITY MAP  
1"=600'

SHEET INDEX

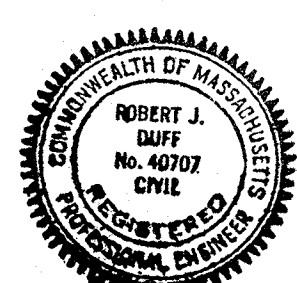
SHEET	DESCRIPTION
1	KEY SHEET
2	LOTING PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	GRADING & UTILITY PLAN
5	PLAN AND PROFILE
6	LAYOUT AND EROSION CONTROL
7	NOTES AND DETAILS
8	NOTES AND DETAILS

WAIVER REQUESTS

1. SECTION V-H 2 (B) THE APPLICANT REQUEST TO CONSTRUCT A CONVENTIAL SUBDIVISION INSTEAD OF A OPEN SPACE RESIDENTIAL DEVELOPMENT



9-30-21  
PROFESSIONAL LAND SURVEYOR



9-30-21  
PROFESSIONAL ENGINEER

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

"I, ELIZABETH TURNER GREENDALE, CLERK OF THE TOWN OF HOLLISTON, RECEIVED AND RECORDED FROM THE PLANNING BOARD, COVENANT APPROVAL OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME."

TOWN CLERK

DATE

MAP 8.E BLOCK 3 LOT 19.3  
OWNER:  
EAGLE PATH, LLC  
195 UNDERWOOD STREET  
HOLLISTON MA 01746

DEED BOOK 47446 PAGE 380

EAGLE PATH

KEY SHEET

DEFINITIVE SUBDIVISION  
PROSPECT STREET  
IN  
HOLLISTON, MASS.

SCALE: 1"=600'  
DATE: APRIL 29, 2021  
REVISION DATE : SEPTEMBER 10, 2021  
SEPTEMBER 30, 2021



ENGINEERING & LAND SURVEYING  
333 WEST STREET PH. (508) 473-6630  
MILFORD, MA 01757 FX. (508) 473-8243  
www.gandhengineering.com

SHEET  
1 of 8

G-10212

G:\CDM\Holliston\G-10212\DWG\G-10212 Lotting Plan.dwg

#### NOTES

1) SEE THE FOLLOWING PLANS RECORDED AT THE MIDDLESEX DISTRICT REGISTRY OF DEEDS.

PLAN 601 OF 2013  
PLAN 1014 OF 2007  
PLAN 1431 OF 2005 (Driveway easement)  
PLAN 1246, 320, 199 OF 2000  
PLAN 103 OF 1958  
PLAN 1892, 1891 OF 1957  
PLAN 1207, 1 OF 1956  
PLAN 1587 OF 1955

#### 2) ZONING CLASSIFICATION:

##### RESIDENTIAL

MINIMUM AREA-- 30,000 SF  
MINIMUM FRONTAGE-- 120'  
MINIMUM DEPTH-- 150'  
SETBACKS-- FRONT 30' SIDE 20' REAR 30'  
MAXIMUM BUILDING COVERAGE-- 30%  
MAXIMUM HEIGHT-- 35'  
MAXIMUM STORIES-- 2.5

3) THE VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATIONS TAKEN ON JULY 31, 2019.

4) THE WETLANDS DEPICTED HEREON WERE DELINEATED IN THE FIELD BY GODDARD CONSULTING, LLC AND IN JULY 2019.

THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF APPROVAL OF THE WITHIN PLAN WAS RECORDED BY ME ON \_\_\_\_\_ AT \_\_\_\_\_ AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

FOR REGISTRY USE ONLY

MARKED TREE ROAD  
(Public ~ 40' wide)

N/F  
HOWLAND  
BOOK 25457 PAGE 357  
HOUSE 231

N/F  
RISTAINO  
BOOK 11694 PAGE 628  
HOUSE 9

N/F  
CHATALIAN  
BOOK 49317 PAGE 130  
HOUSE 17

N/F  
McISAAC  
BOOK 30053 PAGE 45  
HOUSE 25

N/F  
FREEMAN  
BOOK 16538 PAGE 188  
HOUSE 33

N/F  
MAILLETT  
BOOK 40029 PAGE 365  
HOUSE 43

N/F  
THEMELI  
BOOK 13746 PAGE 300

N/F  
THEMELI  
BOOK 62410 PAGE 130

N/F  
THEMELI  
BOOK 31446 PAGE 119

N/F  
TOWN OF HOLLISTON  
BOOK 31461 PAGE 91

N/F  
MERCIER  
BOOK 62360 PAGE 131  
HOUSE 113

N/F  
NANCY P. HOVSEPIAN,  
TRUSTEE  
BOOK 56539 PAGE 116  
HOUSE 123

N/F  
JEWETT  
BOOK 47191 PAGE 511  
HOUSE 132

N/F  
DENMAN  
BOOK 10239 PAGE 168  
HOUSE 193

N/F  
RATCLIFFE  
BOOK 26228 PAGE 154  
HOUSE 185

N/F  
CLAFLIN  
BOOK 59159  
PAGE 55  
HOUSE 173

N/F  
TORONTO  
BOOK 26359  
PAGE 82  
HOUSE 163

LOT 1  
AREA=57,568 SF  
(1.32 ACRES)

LOT 2  
AREA=61,543 SF  
(1.41 ACRES)

LOT 3  
AREA=71,202 SF  
(1.63 ACRES)

LOT 4  
AREA=56,042 SF  
(1.29 ACRES)

DRAINAGE EASEMENT  
TOTAL AREA=41,245 SF  
(LOT 3--29,943 SF  
LOT 4--11,302 SF)

WETLANDS

WETLANDS

PROSPECT STREET  
(PUBLIC ~ VARIABLE WIDTH)

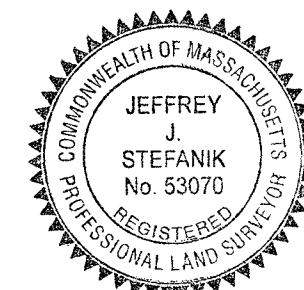
WILKINS ROAD  
(Public ~ 40' width)

PLAN 1431 OF 2005

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTRY OF DEEDS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LAND DEPICTED HEREON.

*Jeffrey J. Stefaniak*  
JEFFREY J. STEFANIAK PLS DATE



APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

"I, ELIZABETH TURNER GREENDALE, CLERK OF THE TOWN OF HOLLISTON, RECEIVED AND RECORDED FROM THE PLANNING BOARD, COVENANT APPROVAL OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME."

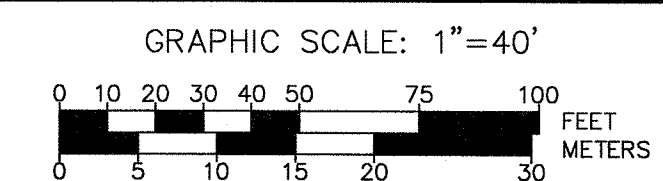
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

MAP 8.E BLOCK 3 LOT 19.3  
OWNER:  
EAGLE PATH, LLC  
195 UNDERWOOD STREET  
HOLLISTON MA 01746

DEED BOOK 47446 PAGE 380

## EAGLE PATH LOTING PLAN

DEFINITIVE SUBDIVISION  
PROSPECT STREET  
IN  
**HOLLISTON, MASS.**  
SCALE: 1"=40'  
DATE: APRIL 29, 2021  
REVISION DATE:  
SEPTEMBER 10, 2021  
SEPTEMBER 30, 2021



**Guerriere & Halon, Inc.**  
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333 WEST STREET PH. (508) 473-6630  
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www.gandhengineering.com

PLAN SHEET 2 OF 8  
REGISTRY SHEET 1 of 1

G-10212

G-10212



TESTING DATE: 11/05/2020  
SOIL EVALUATOR: DAN HAZEN  
WITNESSED: SCOTT MOLES

TP #B-1			TP #B-2		
SANDY LOAM	A	0-6"	SANDY LOAM	A	0-6"
10YR2/2			10YR3/3		
SANDY LOAM	B	6"-36"	SANDY LOAM	B	6"-36"
10YR5/6			10YR5/6		
SANDY LOAM	C	36"-108"	SANDY LOAM	C	36"-120"
2.5Y6/2			2.5Y6/2		
MOTTLES @ 28"			MOTTLES @ 27"		

LOCATION: LOT 1

TP #1-1		TP #1-2	
SANDY LOAM		SANDY LOAM	
10YR2/2 A	0-6"	10YR3/3 A	0-6"
SANDY LOAM		SANDY LOAM	
10YR5/6 B	6"-24"	10YR5/6 B	6"-24"
SANDY LOAM		SANDY LOAM	
2.5Y6/2 C	24"-108"	2.5Y6/2 C	24"-8"
MOTTLES @ 26"		MOTTLES @ 27"	

PERC RATE: 5 MIN./INCH

PERC RATE: 26 MIN./INCH

LOCATION: LOT 2

TP #2-1			TP #2-2		
SANDY LOAM			SANDY LOAM		
10YR2/2	A	0-9"	10YR2/2	A	0-9"
SANDY LOAM			SANDY LOAM		
10YR5/6	B	9"-30"	10YR5/6	B	9"-24"
SANDY LOAM			SANDY LOAM		
2.5Y6/2	C	30"-120"	2.5Y6/2	C	24"-12"
MOTTLES ● 30"			MOTTLES ● 30"		

PERC RATE: 11 MIN./INCH

PERC RATE: 38 MIN./INCH

LOCATION: LOT 3

TP #3-1			TP #3-2		
10YR2/2	SANDY LOAM	0-6"	10YR2/2	SANDY LOAM	0-
	A			A	
10YR5/6	SANDY LOAM	6"-30"	10YR5/6	SANDY LOAM	6"-
	B			B	
2.5Y6/3	SANDY LOAM	30"-96"	2.5Y6/3	SANDY LOAM	30"
	C			C	
MOTTLES @ 30"			MOTTLES @ 30"		

PERC RATE: 7 MIN./IN

PERC RATE: 24 MIN./IN.

LOCATION: LOT 4

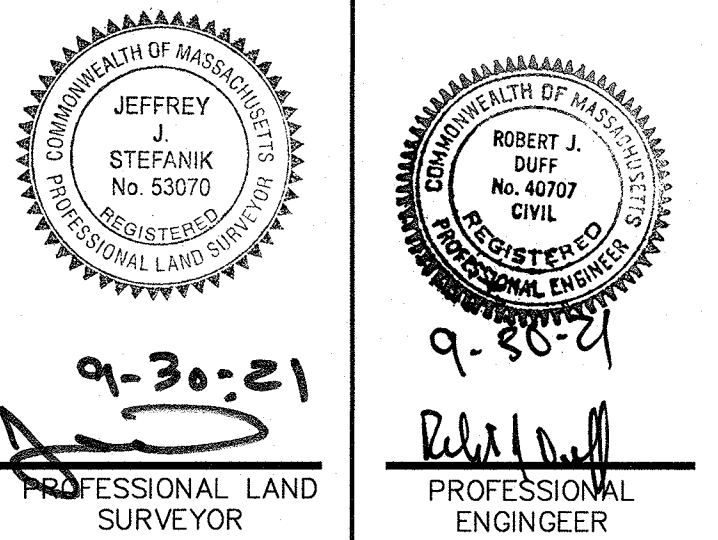
TP #4-1			TP #4-2		
SANDY LOAM	A	0-6"	SANDY LOAM	A	0-6"
10YR2/2			10YR2/2		
SANDY LOAM	B	6"-18"	SANDY LOAM	B	6"-18"
10YR5/6			10YR5/6		
SANDY LOAM	C	18"-108"	SANDY LOAM	C	18"-13"
2.5Y6/2			2.5Y6/2		
MOTTLES @ 24"			MOTTLES @ 28"		

PERC RATE: 10 MIN./INCH

PERC RATE: 23 MIN./INCH

UTILITIES ARE PLOTTED AS A COMPILATION OF THE RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE. HOWEVER, A VIEW OF THE UTILITIES FROM THE SURFACE SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY REPORTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY DEPICTED DOCUMENTS, OBSERVED EVIDENCE, CONTRACTOR'S CONTRACT (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT (888)DIG-SAFE(723.3).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY  
EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS,  
RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY  
BE REVEALED BY AN EXAMINATION OF THE TITLE.



APPROVAL UNDER THE SUBDIVISION CONTROL  
LAW IS REQUIRED

DATE BEING A MAJORITY

1) SEE THE FOLLOWING PLANS RECORDED AT  
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PLAN 1014 OF 2007  
PLAN 1431 OF 2005  
PLAN 1246, 320, 199 OF 2000  
PLAN 103 OF 1958  
PLAN 1892, 1891 OF 1957  
PLAN 1207, 1 OF 1956  
PLAN 1587 OF 1955

2) ZONING CLASSIFICATION: RESIDENTIAL

MINIMUM AREA- 30,000 SF  
MINIMUM FRONTAGE- 120'  
MINIMUM DEPTH- 150'  
SETBACKS- FRONT 30' SIDE 20' REAR 30'  
MAXIMUM BUILDING COVERAGE- 30%  
MAXIMUM HEIGHT- 35'  
MAXIMUM STORIES- 2.5

3) THE VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATIONS TAKEN ON JULY 31, 2019.

4) WETLANDS WERE DELINEATED BY GODDARD CONSULTING LLC ON June 26, 2021, AND FIELD LOCATED BY GUERRIERE & HALNON, INC. ON JULY 31, 2019.

5) PROPERTY LOCATED IN THE ZONE X OF  
FIRM MAP 25017C0629E (DATE 6-4-2010)

MAP 8.E BLOCK 3 LOT 19.3  
OWNER:  
EAGLE PATH, LLC  
195 UNDERWOOD STREET  
HOLLISTON MA 01746

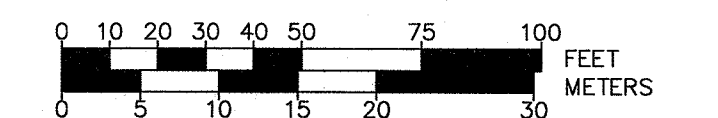
DEED BOOK 47446 PAGE 380

EAGLE PATH

## EXISTING CONDITIONS & DEMOLITION PLAN

DEFINITIVE SUBDIVISION  
PROSPECT STREET  
IN  
**HOLLISTON, MASS.**  
SCALE: 1"=40'  
DATE: APRIL 29, 2021  
REVISION DATE : SEPTEMBER 10, 2021  
SEPTEMBER 30, 2021

GRAPHIC SCALE: 1"=40'



SHEET  
3 OF 8

G-10212



PROFESSIONAL  
ENGINEER

DATE BEING A MAJORITY

4 OF 8	G-10212
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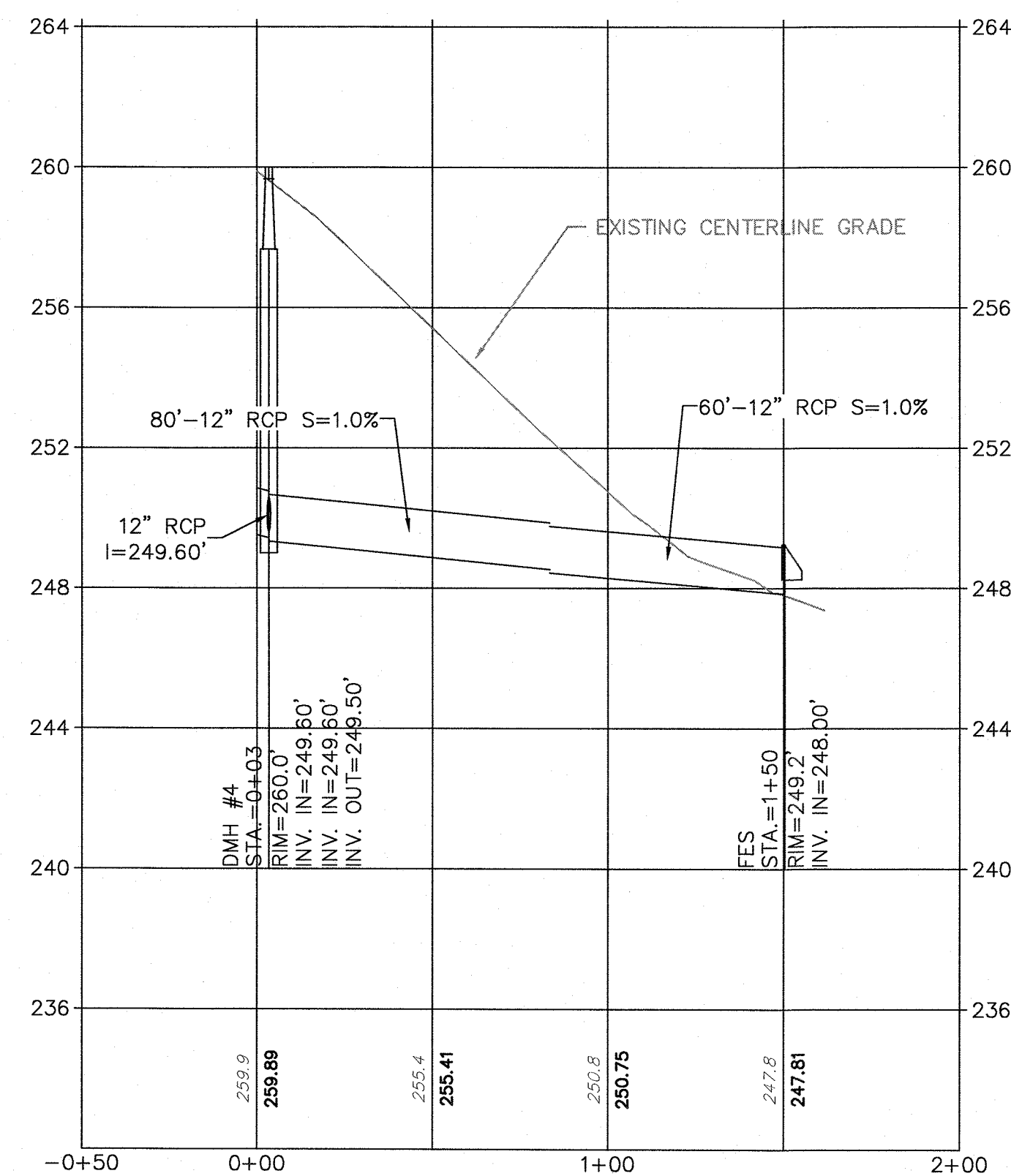
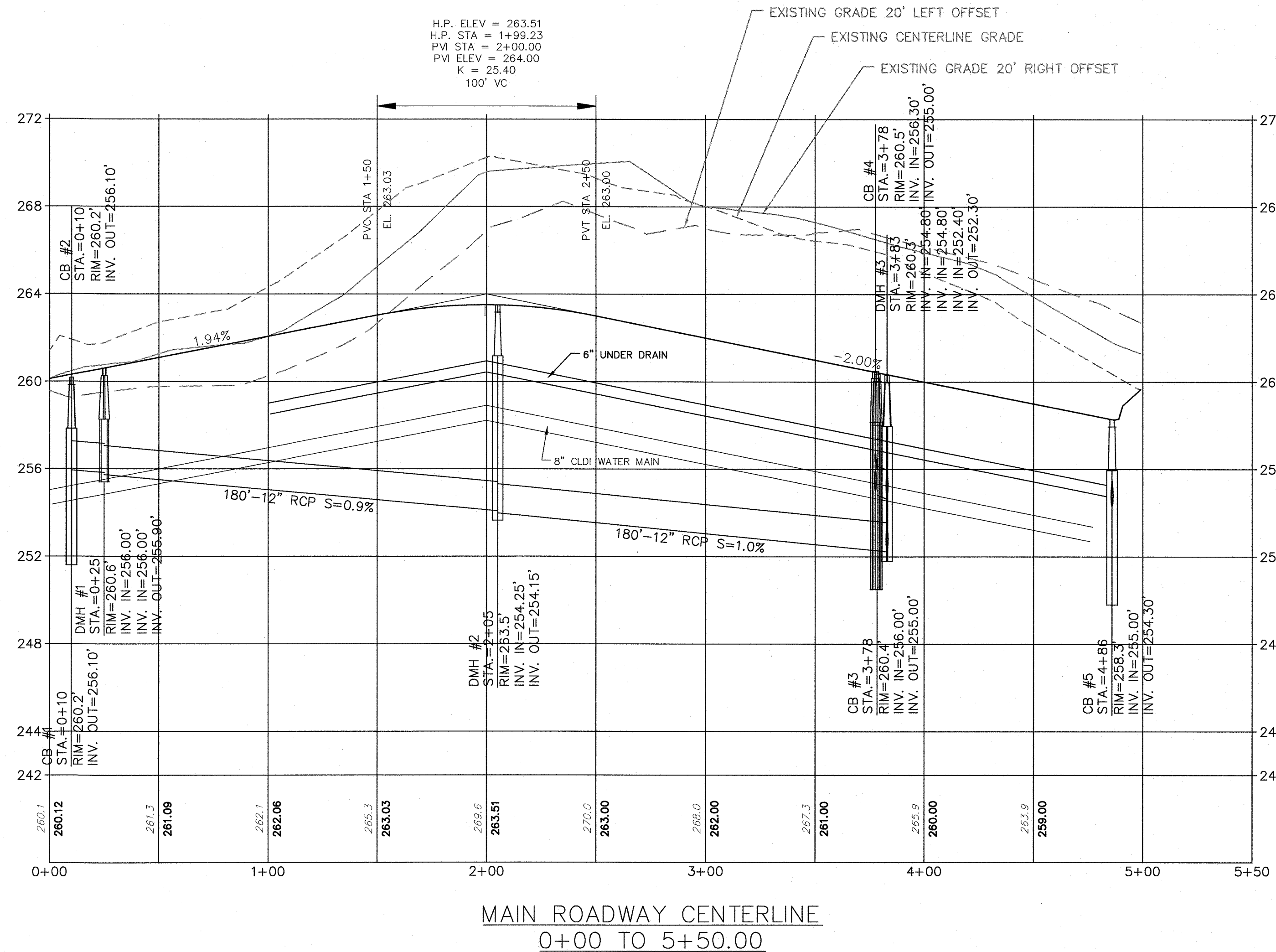
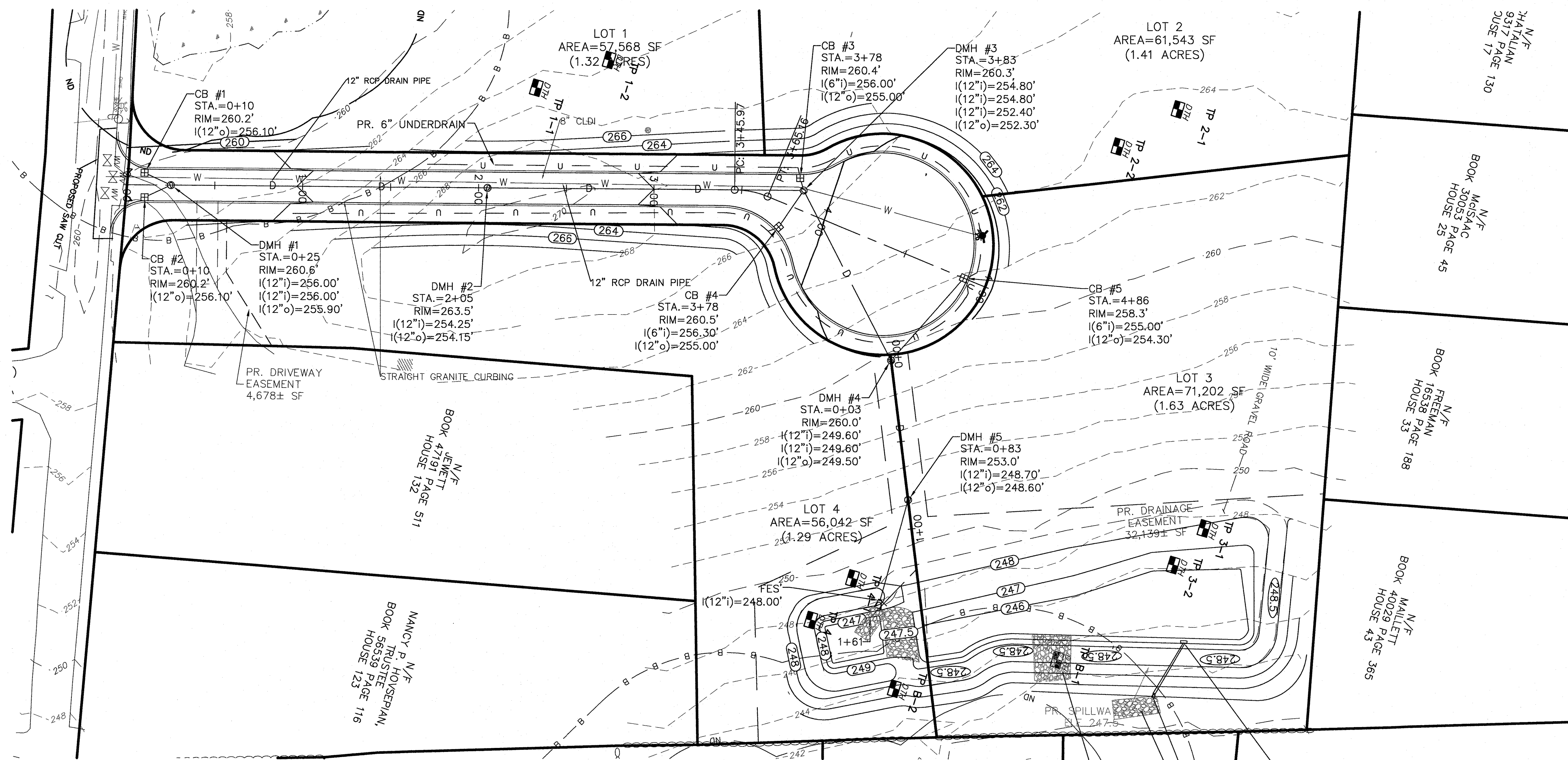


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PLAN 1431 OF 2005



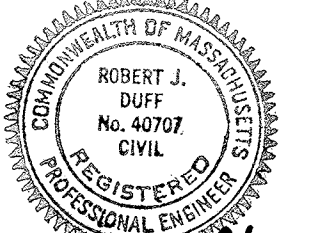
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PROFESSIONAL LAND SURVEYOR



PROFESSIONAL ENGINEER

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

MAP 8:E BLOCK 3 LOT 19.3  
OWNER:  
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HOLLISTON MA 01746  
DEED BOOK 47446 PAGE 380

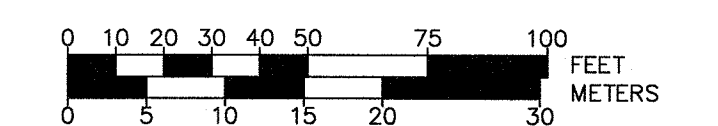
## EAGLE PATH

## PLAN AND PROFILE

DEFINITIVE SUBDIVISION  
PROSPECT STREET  
IN  
HOLLISTON, MASS.

SCALE: 1"=40'  
DATE: APRIL 29, 2021  
REVISION DATE : SEPTEMBER 10, 2021  
SEPTEMBER 30, 2021

GRAPHIC SCALE: 1"=40'



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N/F  
HOWLAND  
BOOK 25457 PAGE 357  
HOUSE 231

N/F  
RISTAINO  
BOOK 11694 PAGE 628  
HOUSE 9

N/F  
CHATALIAN  
BOOK 49317 PAGE 130  
HOUSE 17

N/F  
McISAAC  
BOOK 30053 PAGE 45  
HOUSE 25

N/F  
FREEMAN  
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HOUSE 33

N/F  
MAILLETT  
BOOK 40029 PAGE 365  
HOUSE 43

N/F  
THEMELI  
BOOK 13746 PAGE 300

N/F  
THEMELI  
BOOK 62410 PAGE 130

N/F  
CREA  
BOOK 49675 PAGE 332  
HOUSE 217

N/F  
HOCKSTAD  
BOOK 25188 PAGE 56  
HOUSE 209

N/F  
HAMMETT  
BOOK 24702 PAGE 18  
HOUSE 201

N/F  
DENMAN  
BOOK 10239 PAGE 168  
HOUSE 193

N/F  
RATCLIFFE  
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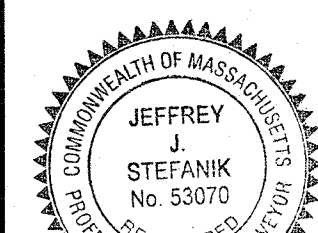
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THEMELI  
BOOK 31446 PAGE 119

N/F  
TOWN OF HOLLISTON  
BOOK 31461 PAGE 91

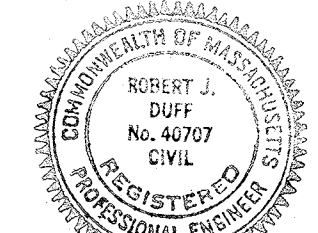
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NANCY P. HOVSEPIAN,  
TRUSTEE  
BOOK 56539 PAGE 116  
HOUSE 123

N/F  
MERCIER  
BOOK 62360 PAGE 131  
HOUSE 113



JEFFREY J.  
STEFANK  
No. 53070  
REGISTERED  
PROFESSIONAL LAND SURVEYOR



ROBERT J.  
DUFF  
No. 40707  
REGISTERED  
PROFESSIONAL ENGINEER

APPROVAL UNDER THE SUBDIVISION CONTROL  
LAW IS REQUIRED

DATE BEING A MAJORITY

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OWNER:  
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195 UNDERWOOD STREET  
HOLLISTON MA 01746

DEED BOOK 47446 PAGE 380

EAGLE PATH

## LAYOUT AND EROSION CONTROL PLAN

DEFINITIVE SUBDIVISION

PROSPECT STREET

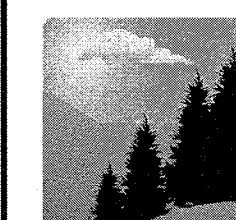
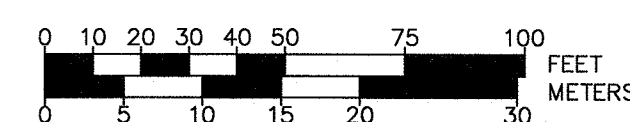
IN  
HOLLISTON, MASS.

SCALE: 1"=40'

DATE: APRIL 29, 2021

REVISION DATE : SEPTEMBER 10, 2021  
SEPTEMBER 30, 2021

GRAPHIC SCALE: 1"=40'



**Guerriere &  
Halnon, Inc.**

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MILFORD, MA 01757

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SHEET

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G-10212







