

EAGLE PATH
DEFINITIVE SUBDIVISION IN
HOLLISTON, MASSACHUSETTS

FOR REGISTRY USE ONLY

NOTES

1. THIS LAND IS ZONED RESIDENTIAL.
2. THIS PLAN REFERS TO HOLLISTON ASSESSORS MAP 8.E BLOCK 3 LOT 19.3.
3. THE PARCEL IS LOCATED WITHIN A ZONE X PER FIRM MAP 25017C0629E (DATE 6-4-2010).
4. THE PARCEL IS NOT LOCATED WITHIN A NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (NHESP) AREA DESIGNATED AS AN ESTIMATED OR PRIORITY HABITAT AREA.
5. THERE ARE NO CERTIFIED VERNAL POOLS LOCATED ON THE LOT.
6. THE VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATIONS TAKEN ON JULY 31, 2019.
7. THE WETLANDS DEPICTED HEREON WERE DELINEATED IN THE FIELD BY GODDARD CONSULTING, LLC. AND FIELD LOCATED ON JULY 31, 2019.

PLAN REFERENCES:

- 1) SEE THE FOLLOWING PLANS RECORDED AT THE MIDDLESEX DISTRICT REGISTRY OF DEEDS.

PLAN 601 OF 2013
PLAN 1014 OF 2007
PLAN 1431 OF 2005
PLAN 1246, 320, 199 OF 2000
PLAN 103 OF 1958
PLAN 1892, 1891 OF 1957
PLAN 1207, 1 OF 1956
PLAN 1587 OF 1955

ZONING: RESIDENTIAL

	REQUIRED
MINIMUM LOT AREA	30,000 SF
MINIMUM LOT FRONTAGE	120'
MINIMUM LOT DEPTH	150'
MINIMUM YARDS	
FRONT	30'
SIDE	20'
REAR	30'
% OF LOT UPLAND COVERED BY: STRUCTURES	30
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM STORIES	2.5

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

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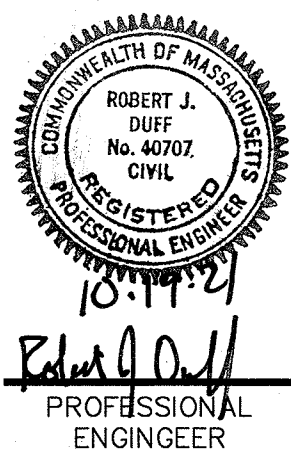
VICINITY MAP
1"=600'

SHEET INDEX

SHEET	DESCRIPTION
1	KEY SHEET
2	LOTING PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	GRADING & UTILITY PLAN
5	PLAN AND PROFILE
6	LAYOUT AND EROSION CONTROL
7	NOTES AND DETAILS
8	NOTES AND DETAILS

WAIVER REQUESTS

1. SECTION V-H 2 (B) THE APPLICANT REQUEST TO CONSTRUCT A CONVENTIAL SUBDIVISION INSTEAD OF A OPEN SPACE RESIDENTIAL DEVELOPMENT



PROFESSIONAL LAND SURVEYOR

PROFESSIONAL ENGINEER

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

"I, ELIZABETH TURNER GREENDALE, CLERK OF THE TOWN OF HOLLISTON, RECEIVED AND RECORDED FROM THE PLANNING BOARD, COVENANT APPROVAL OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME."

TOWN CLERK

DATE

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

EAGLE PATH

KEY SHEET

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.

SCALE: 1"=600'
DATE: APRIL 29, 2021
REVISION DATE : SEPTEMBER 10,2021
SEPTEMBER 30,2021
OCTOBER 15, 2021

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
333 WEST STREET PH. (508) 473-6630
MILFORD, MA 01757 FX. (508) 473-8243
www.gandhengineering.com

SHEET
1 of 8

G-10212

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTRY OF DEEDS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LAND DEPICTED HEREON.

JEFFREY J. STEFANIK PLS DATE



APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

"I, ELIZABETH TURNER GREENDALE, CLERK OF THE TOWN OF HOLLISTON, RECEIVED AND RECORDED FROM THE PLANNING BOARD, COVENANT APPROVAL OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME."

TOWN CLERK DATE

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746

DEED BOOK 47446 PAGE 380

EAGLE PATH LOTING PLAN

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.
SCALE: 1"=40'
DATE: APRIL 29, 2021
REVISION DATE:
SEPTEMBER 10, 2021
SEPTEMBER 30, 2021
OCTOBER 15, 2021

GRAPHIC SCALE: 1"=40'
0 10 20 30 40 50 75 100
0 5 10 15 20 30
FEET
METERS

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PLAN SHEET 2 OF 8
REGISTRY SHEET 1 of 1

G-10212



FOR REGISTRY USE ONLY

NOTES

1) SEE THE FOLLOWING PLANS RECORDED AT THE MIDDLESEX DISTRICT REGISTRY OF DEEDS.

PLAN 601 OF 2013
PLAN 1014 OF 2007
PLAN 1431 OF 2005 (Driveway easement)
PLAN 1246, 320, 199 OF 2000
PLAN 103 OF 1958
PLAN 1892, 1891 OF 1957
PLAN 1207, 1 OF 1956
PLAN 1587 OF 1955

2) ZONING CLASSIFICATION:

RESIDENTIAL

MINIMUM AREA- 30,000 SF
MINIMUM FRONTAGE- 120'
MINIMUM DEPTH- 150'
SETBACKS- FRONT 30' SIDE 20' REAR 30'
MAXIMUM BUILDING COVERAGE- 30%
MAXIMUM HEIGHT- 35'
MAXIMUM STORIES- 2.5

3) THE VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATIONS TAKEN ON JULY 31, 2019.

4) THE WETLANDS DEPICTED HEREON WERE DELINEATED IN THE FIELD BY GODDARD CONSULTING, LLC AND IN JULY 2019.

THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF APPROVAL OF THE WITHIN PLAN WAS RECORDED BY ME ON _____ AT _____ AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

TOWN CLERK DATE

PLAN 1431 OF 2005

LINE TABLE

L1 R=30.00' L=48.37' D=92°22'45"
L2 R=30.00' L=15.95' D=30°27'37"
L3 R=30.00' L=40.68' D=77°41'05"
L4 R=30.00' L=44.72' D=85°24'37"

TEST PIT INFORMATION

TESTING DATE: 11/05/2020
SOIL EVALUATOR: DAN HAZEN
WITNESSED: SCOTT MOLES

TP #B-1		TP #B-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR3/3 A	
SANDY LOAM	6"-36"	SANDY LOAM	6"-36"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	36"-108"	SANDY LOAM	36"-120"
2.5Y6/2 C		2.5Y6/2 C	
MOTTLES @ 28"		MOTTLES @ 27"	

LOCATION: LOT 1

TP #1-1		TP #1-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR3/3 A	
SANDY LOAM	6"-24"	SANDY LOAM	6"-24"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	24"-108"	SANDY LOAM	24"-80"
2.5Y6/2 C		2.5Y6/2 C	
MOTTLES @ 26"		MOTTLES @ 27"	

PERC RATE: 5 MIN./INCH

PERC RATE: 26 MIN./INCH

LOCATION: LOT 2

TP #2-1		TP #2-2	
SANDY LOAM	0'-9"	SANDY LOAM	0'-9"
10YR2/2 A		10YR2/2 A	
SANDY LOAM	9"-30"	SANDY LOAM	9"-24"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	30"-120"	SANDY LOAM	24"-120"
2.5Y6/2 C		2.5Y6/2 C	
MOTTLES @ 30"		MOTTLES @ 30"	

PERC RATE: 11 MIN./INCH

PERC RATE: 38 MIN./INCH

LOCATION: LOT 3

TP #3-1		TP #3-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR2/2 A	
SANDY LOAM	6"-30"	SANDY LOAM	6"-30"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	30"-96"	SANDY LOAM	30"-108"
2.5Y6/3 C		2.5Y6/3 C	
MOTTLES @ 30"		MOTTLES @ 30"	

PERC RATE: 7 MIN./INCH

PERC RATE: 24 MIN./INCH

LOCATION: LOT 4

TP #4-1		TP #4-2	
SANDY LOAM	0'-6"	SANDY LOAM	0'-6"
10YR2/2 A		10YR2/2 A	
SANDY LOAM	6"-18"	SANDY LOAM	6"-18"
10YR5/6 B		10YR5/6 B	
SANDY LOAM	18"-108"	SANDY LOAM	18"-132"
2.5Y6/2 C		2.5Y6/2 C	
MOTTLES @ 24"		MOTTLES @ 28"	

PERC RATE: 10 MIN./INCH

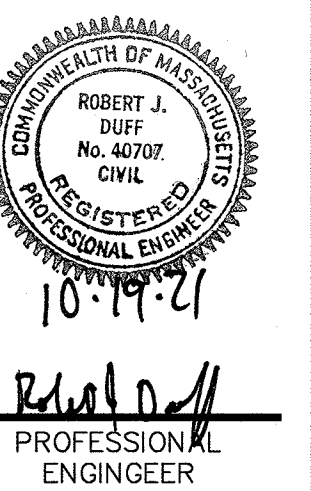
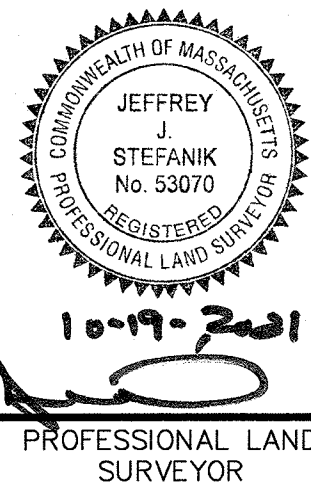
PERC RATE: 23 MIN./INCH

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PLAN 1431 OF 2005



APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE BEING A MAJORITY

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MAXIMUM STORIES- 2.5

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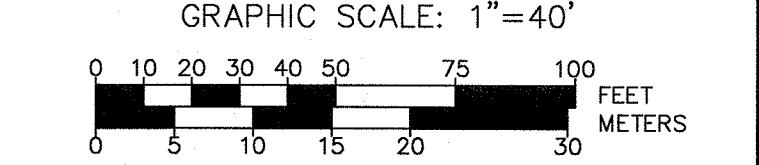
4) WETLANDS WERE DELINEATED BY GODDARD CONSULTING LLC ON June 26, 2021, AND FIELD LOCATED BY GUERRIERE & HALNON, INC. ON JULY 31, 2019.

5) PROPERTY LOCATED IN THE ZONE X OF FIRM MAP 25017C0629E (DATE 6-4-2010)

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

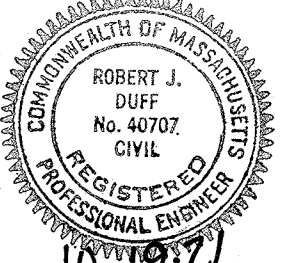
EAGLE PATH
EXISTING CONDITIONS
& DEMOLITION PLAN

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.
SCALE: 1"=40'
DATE: APRIL 29, 2021
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SHEET 3 OF 8 G-10212



Robert J. Duff
PROFESSIONAL ENGINEER

PROFESSIONAL LAND
SURVEYOR

APPROVAL UNDER THE SUBDIVISION CONTROL
LAW IS REQUIRED

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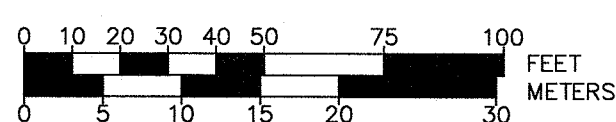
EAGLE PATH

GRADING AND
UTILITY PLAN

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.

SCALE: 1"=40'
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OCTOBER 15, 2021

GRAPHIC SCALE: 1"=40'



**Guerriere &
Halnon, Inc.**

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SHEET
4 OF 8

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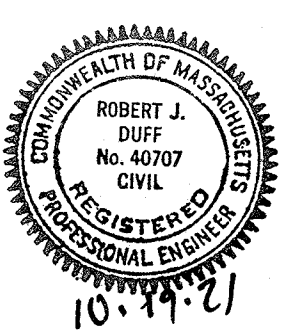
PLAN 1431 OF 2005



LEGAL NOTES

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PROFESSIONAL LAND
SURVEYOR

PROFESSIONAL
ENGINEER

APPROVAL UNDER THE SUBDIVISION CONTROL
LAW IS REQUIRED

DATE BEING A MAJORITY

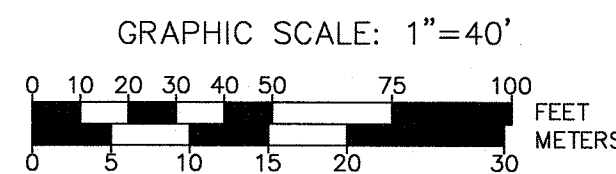
MAP 8.E BLOCK 3 LOT 19.3
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195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

EAGLE PATH

PLAN AND PROFILE

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.

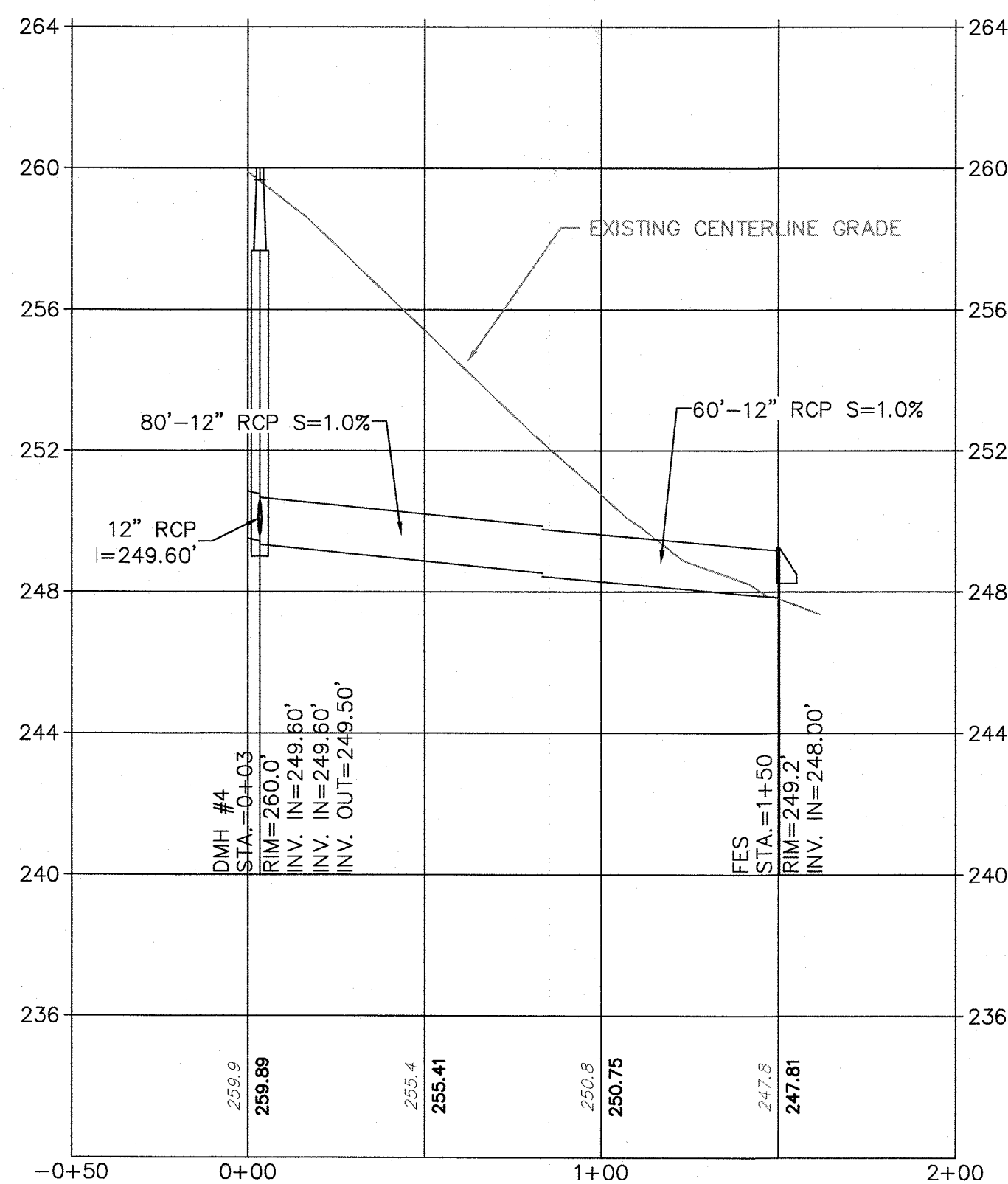
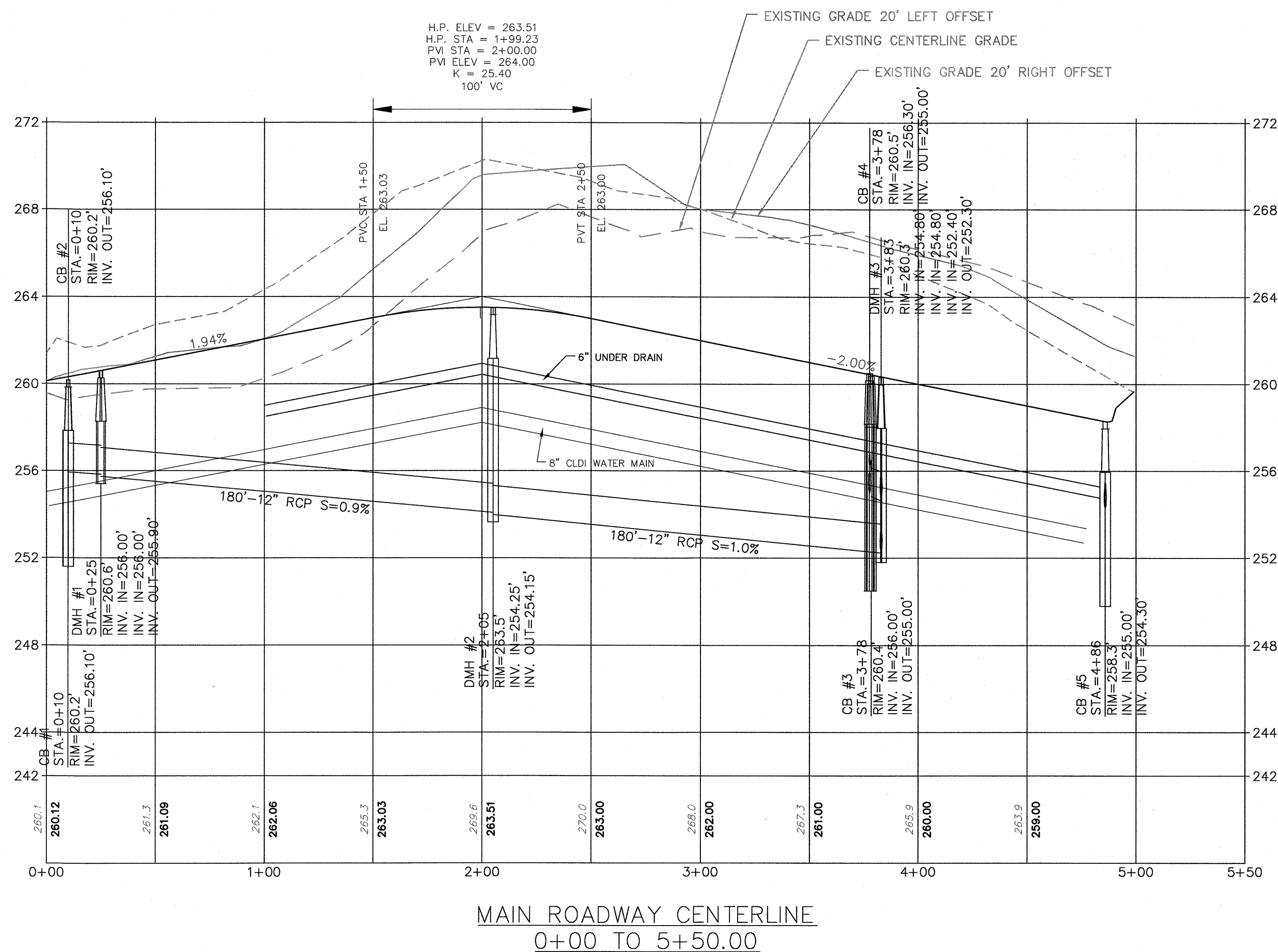
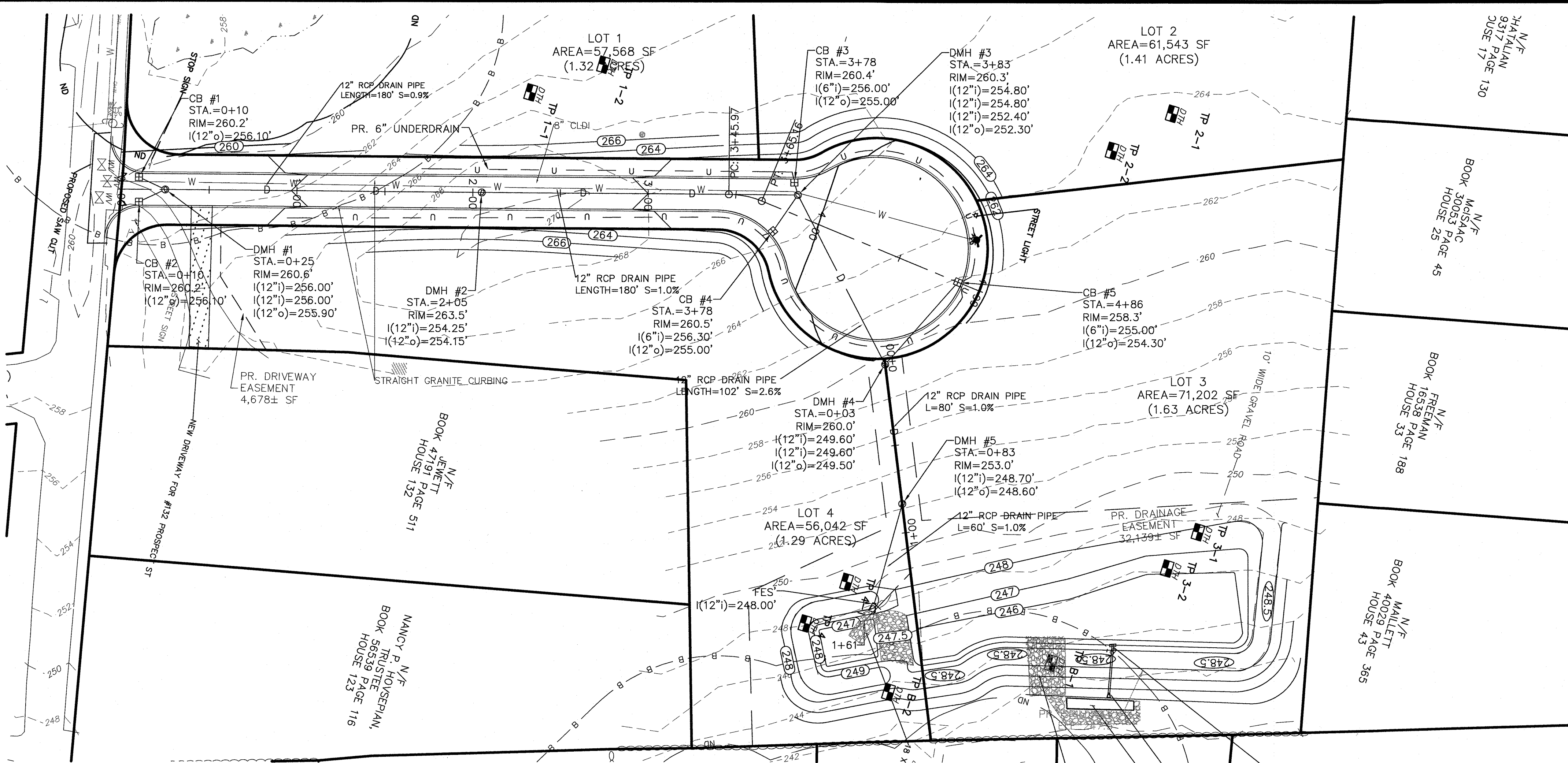
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DATE: APRIL 29, 2021
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OCTOBER 15, 2021



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SHEET
5 OF 8

G-10212



FOR REGISTRY USE ONLY

PLAN 1431 OF 2005

LEGAL NOTES

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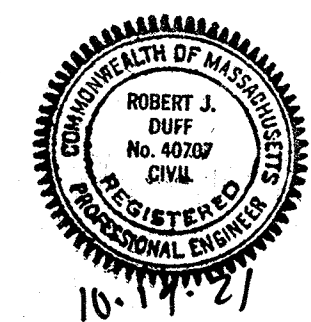
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PLAN 1431 OF 2005



PROFESSIONAL LAND SURVEYOR

PROFESSIONAL ENGINEER

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

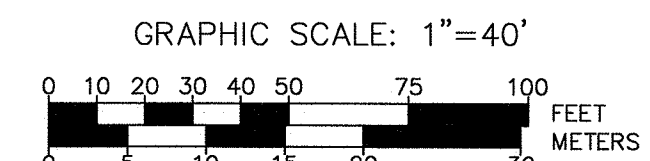
DATE BEING A MAJORITY

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

EAGLE PATH LAYOUT AND EROSION CONTROL PLAN

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.

SCALE: 1"=40'
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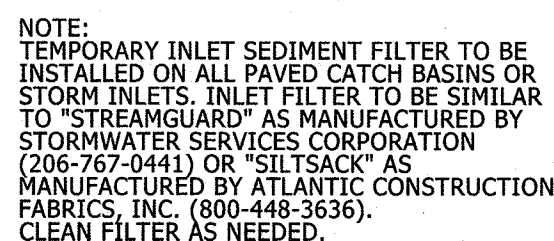


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SHEET
6 OF 8

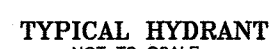
G-10212

G-10212



NOT TO SCALE

NOTE:
ALL STRUCTURES SHALL BE SUITABLE
FOR H-20 LOADING AND SHALL MEET THE
REQUIREMENTS OF ASTM C478 AND
OF HOLLISTON SUBDIVISION SECTION 5.3.4



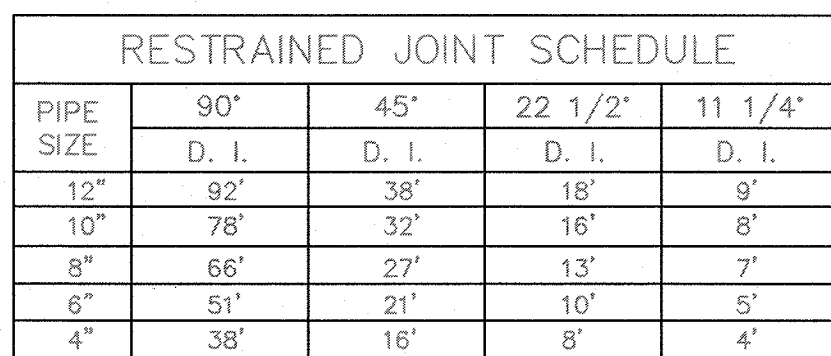
SEPTIC SYSTEM SIZING

LOT 1 Perc Rate (5-23 min/in) LTAR= 0.40 - 440/0.40= 1100 1100/.6=660 sq ft- (35x20= 700 sq ft)

LOT 2 Perc Rate (11-33 min/in) LTAR= 0.25 - 440/0.25=1760 1760/.6=1056 sq ft- (52x20 = 1100 sq ft)

LOT 3 Perc Rate (7-24 min/in) LTAR= 0.40 - 440/0.40=1100 1100 /.6=660 sq ft- (35x20= 700 sq ft)

LOT 4 Perc Rate (10-25 min/in) LTAR= 0.40- 440/0.40=1100 1100/.6=660 sq ft- (35x20= 700 sq ft)



NOTES-

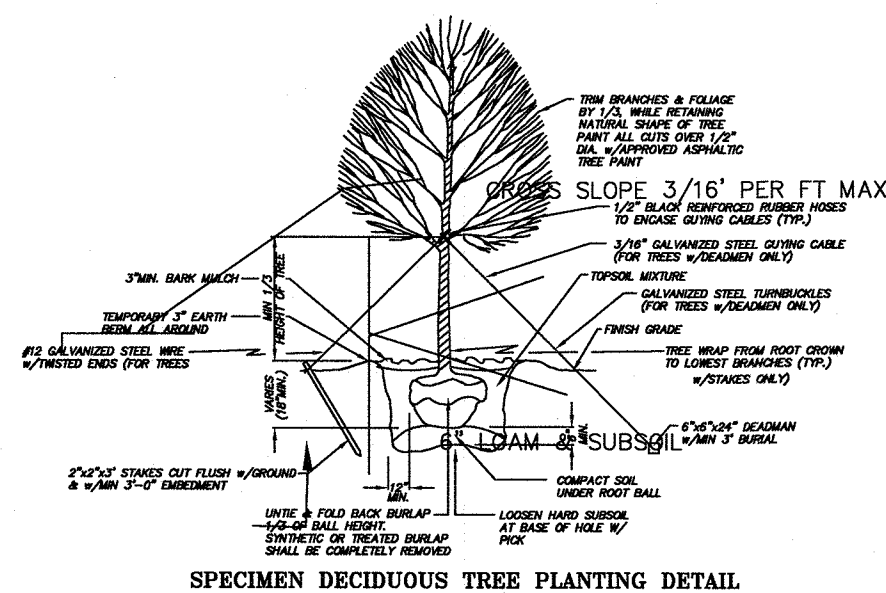
1. RESTRAINED LENGTH FOR TEES, CROSSES, VALVES AND PLUGS SHALL EQUAL RESTRAINED LENGTH FOR 90° BENDS.
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING RESTRAINED JOINTS.
3. THE SCHEDULE SHOWN IS FOR THE FOLLOWING SERVICE CONDITIONS 200 psi INTERNAL PRESSURE; SOIL TYPE: SAND-SILT; 60 INCHES OF COVER AND TYPE 2 LAYING CONDITIONS.
4. RESTRAINED LENGTHS SHOWN IN TABLE ARE MINIMUM LENGTHS (IN FEET) AND ARE REQUIRED IN EACH DIRECTION FROM FITTINGS OR VALVES.

3 GATE VALVE DETAIL
N.T.S.



N.T.S.

NOTE: ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF THE HOLLISTON REGULATIONS 5.3.4



N.T.S.

NOTE: INSTALL WITHIN ALL PUBLIC WAYS,
CORNERS, AND RADIUS SECTIONS

PROFESSIONAL LAND
SURVEYOR

APPROVAL UNDER THE SUBDIVISION CONTROL
LAW IS REQUIRED

DATE BEING A MAJORITY

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746

DEED BOOK 47446 PAGE 380

EAGLE PATH

CONSTRUCTION DETAILS

DEFINITIVE SUBDIVISION
PROSPECT STREET

HOLLISTON, MASS.

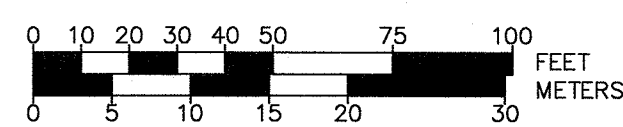
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SHEET
7 OF 8

G-10212

PROFESSIONAL LAND
SURVEYOR

APPROVAL UNDER THE SUBDIVISION CONTROL
LAW IS REQUIRED

DATE BEING A MAJORITY

MAP 8.E BLOCK 3 LOT 19.3
OWNER:
EAGLE PATH, LLC
195 UNDERWOOD STREET
HOLLISTON MA 01746
DEED BOOK 47446 PAGE 380

EAGLE PATH

CONSTRUCTION DETAILS

DEFINITIVE SUBDIVISION
PROSPECT STREET
IN
HOLLISTON, MASS.
DATE: APRIL 29, 2021
REVISION DATE: SEPTEMBER 10, 2021
SEPTEMBER 30, 2021
OCTOBER 15, 2021

GRAPHIC SCALE: 1"=40'

A horizontal graphic scale bar. The top scale is in feet, with markings at 0, 10, 20, 30, 40, 50, 75, and 100. The bottom scale is in meters, with markings at 0, 5, 10, 15, 20, and 30. The bar is divided into alternating black and white segments.

0 10 20 30 40 50 75 100 FEET
0 5 10 15 20 30 METERS



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING

333 WEST STREET PH. (508) 473-6633
MILFORD, MA 01757 FX. (508) 473-8241

www.gandhengeenineering.com

SHEET
8 OF 8

G-10212

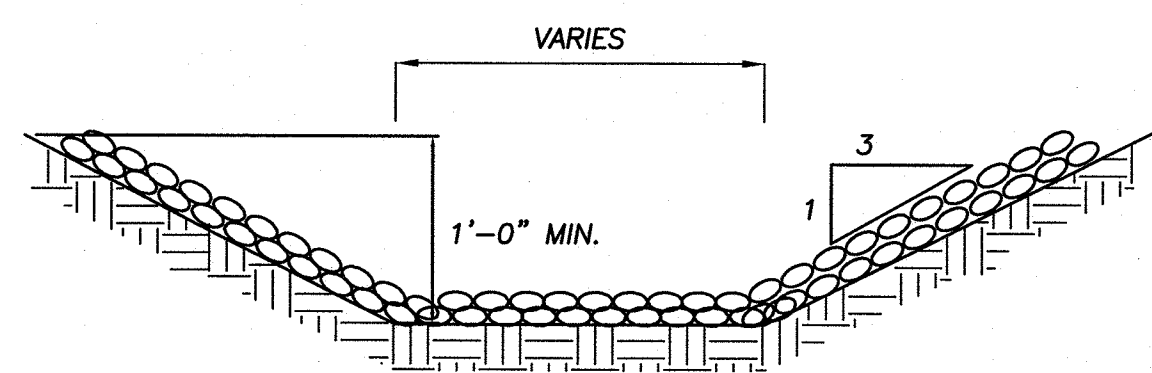
GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

1. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
2. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
4. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
5. ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
6. THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
7. SEDIMENT BUILD UP BEHIND MULCH SOCK SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
8. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SOCKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
10. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
12. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
13. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
14. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDDED AS SOON AS WEATHER CONDITIONS ALLOW.
15. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
16. SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
17. ALL PLANTINGS SHALL BE ACCOMPISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
18. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
19. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED.

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF
RECORD DOCUMENTS, MARKINGS AND OTHER
OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE
UNDERGROUND UTILITIES AND SHOULD BE
CONSIDERED APPROXIMATE. EXCAVATING, EXCAVATION,
THE ACT OF LOCATING UNDERGROUND FEATURES,
CANNOT BE ACCURATELY COMPLETED, AND
RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT
EVIDENCED BY RECORD DOCUMENTS OR OBSERVED
PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN
ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION
40A) ARE GENERALLY REQUIRED TO CONTACT UTILITY
COMPANIES BEFORE EXCAVATING OR DRILLING AND
CALL DIGSAFE AT (1-888)DIG-5A577233.

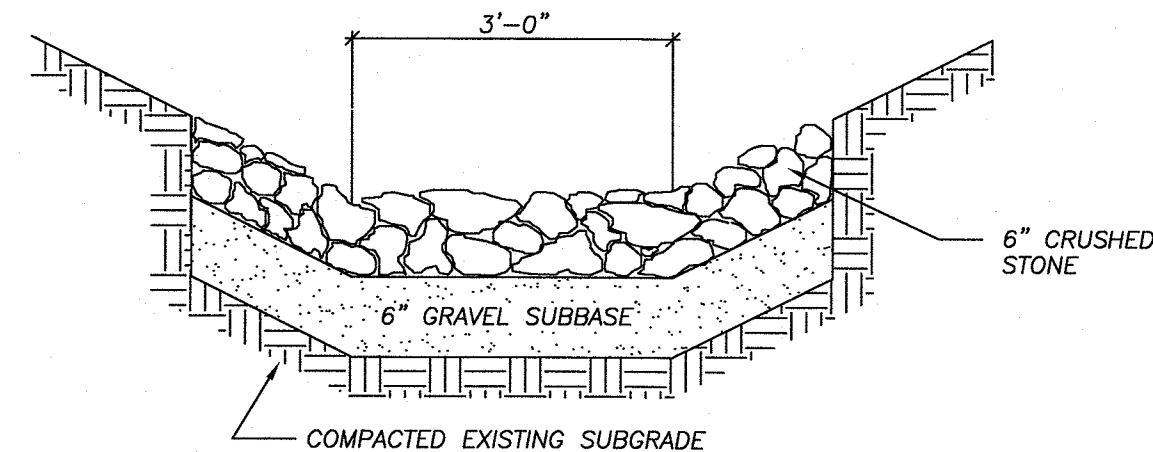
CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY
EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS,
RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY
BE REVEALED BY AN EXAMINATION OF THE TITLE.



EMERGENCY SPILLWAY DETAIL

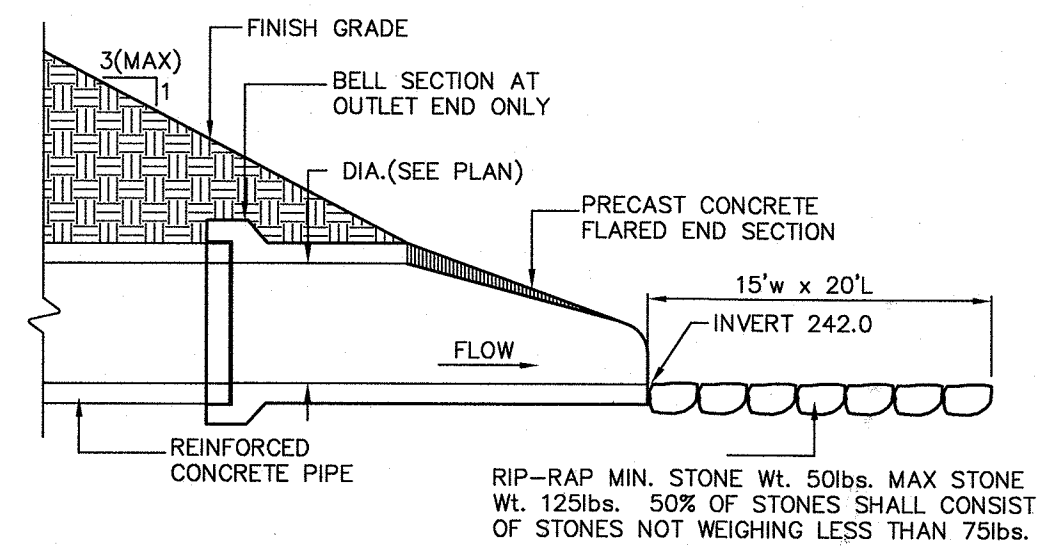
N.T.S.

- NOTES:
1. FILTER MATERIAL BENEATH RIP RAP UNLESS BANK IS OF GRAVEL AND COURSE SAND MIX. (5" MIN. THICKNESS).
 2. MINIMUM WEIGHT OF STONE = 50 LBS.; MAXIMUM WEIGHT = 125 LBS.
 3. 75% OF TOTAL STONE VOLUME TO BE MIN. 75 LB. STONES.
 4. MINIMUM DEPTH OF RIP-RAP TO BE 18".



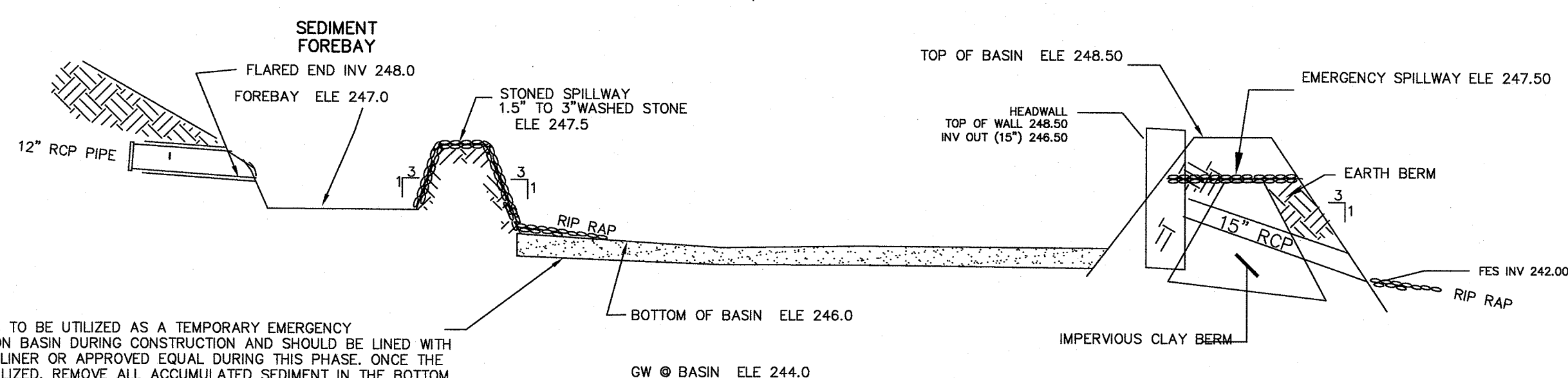
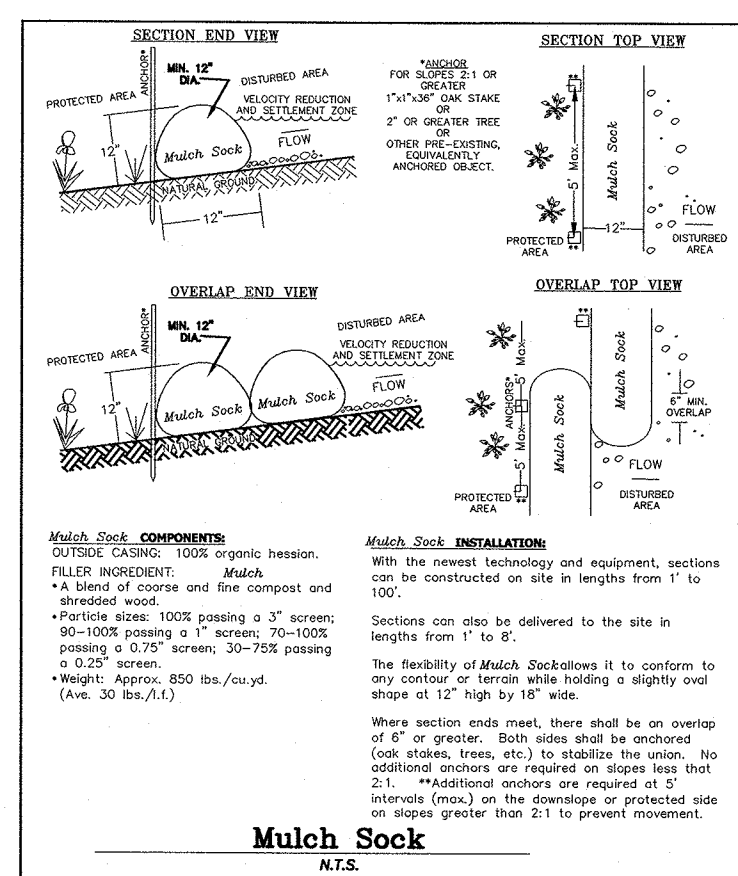
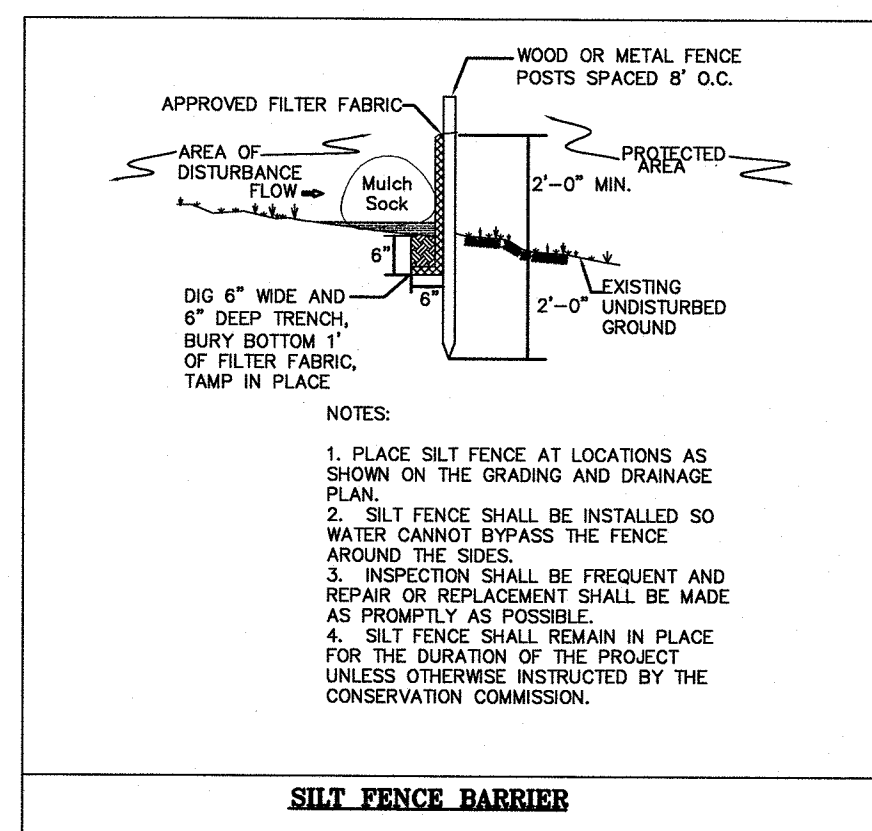
CRUSHED STONE SWALE DETAIL

N.T.S.



TYPICAL PRECAST CONCRETE
FLARED-END SECTION DETAIL

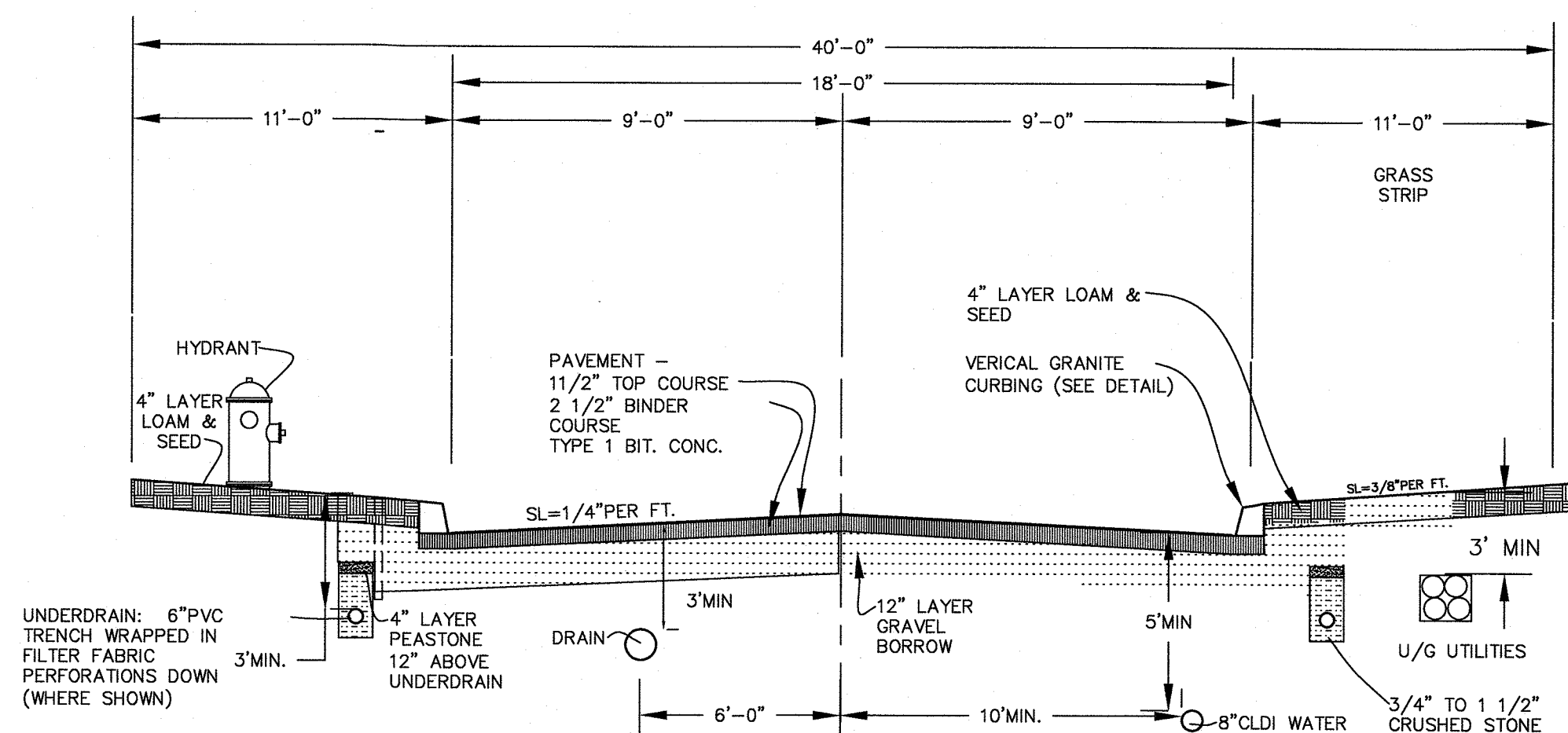
N.T.S.



THE BASIN IS TO BE UTILIZED AS A TEMPORARY EMERGENCY SEDIMENTATION BASIN DURING CONSTRUCTION AND SHOULD BE LINED WITH 30 MIL. PVC LINER OR APPROVED EQUAL DURING THIS PHASE. ONCE THE STATION IS STABILIZED, REMOVE ALL ACCUMULATED SEDIMENT IN THE BOTTOM OF THE BASIN ALONG WITH THE 30 MIL. PVC LINER AND AN ADDITIONAL 12" OF SOIL BELOW THE DESIGN BASE ELEVATION, REPLACE WITH 12" OF CLEAN COARSE SAND AND GRAVEL FREE OF ORGANICS AND FINES ALONG WITH 6" OF LOAM AND SAND MIXTURE (SEE DETAIL ABOVE).

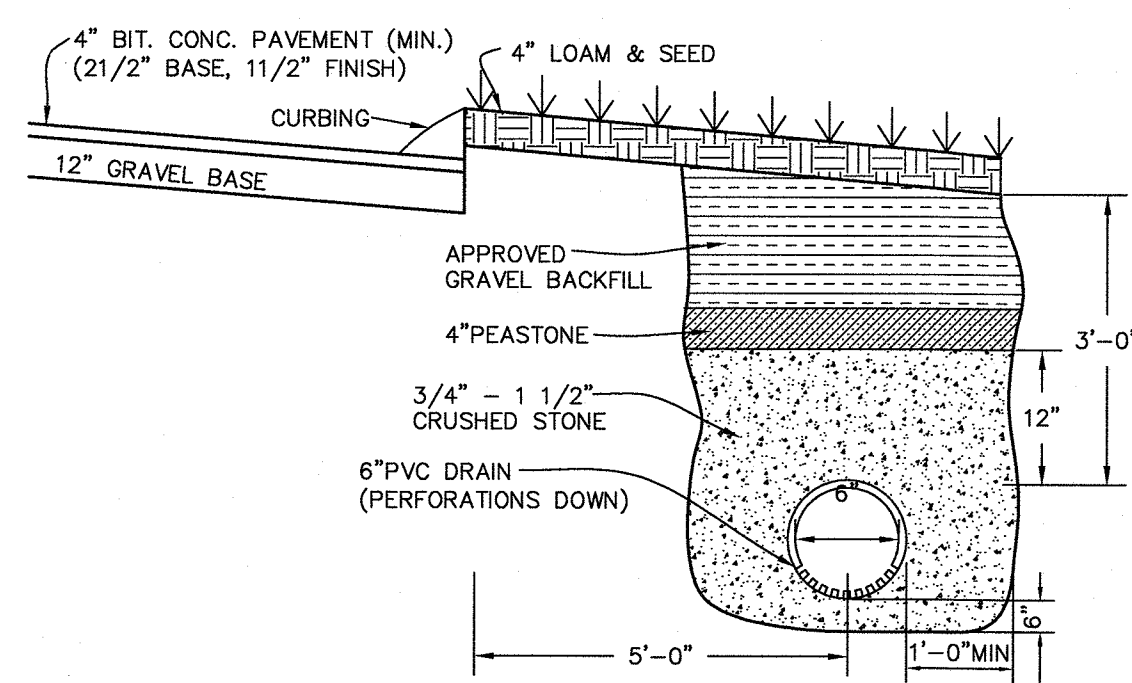
- NOTE:
1. AREA BENEATH THE BASIN TO BE STRIPPED OF TOPSOIL AND SUBSOIL. REFER TO TEST PIT NOTED FOR ADDITIONAL INFORMATION.
 2. BASIN TO BE REVIEWED BY ENGINEER TO ENSURE CONSTRUCTION IN COMPLIANCE WITH THE DESIGN PLANS.
 3. BASIN TO BE SEEDDED WITH NATIVE WILD GRASSES.

INFILTRATION BASIN



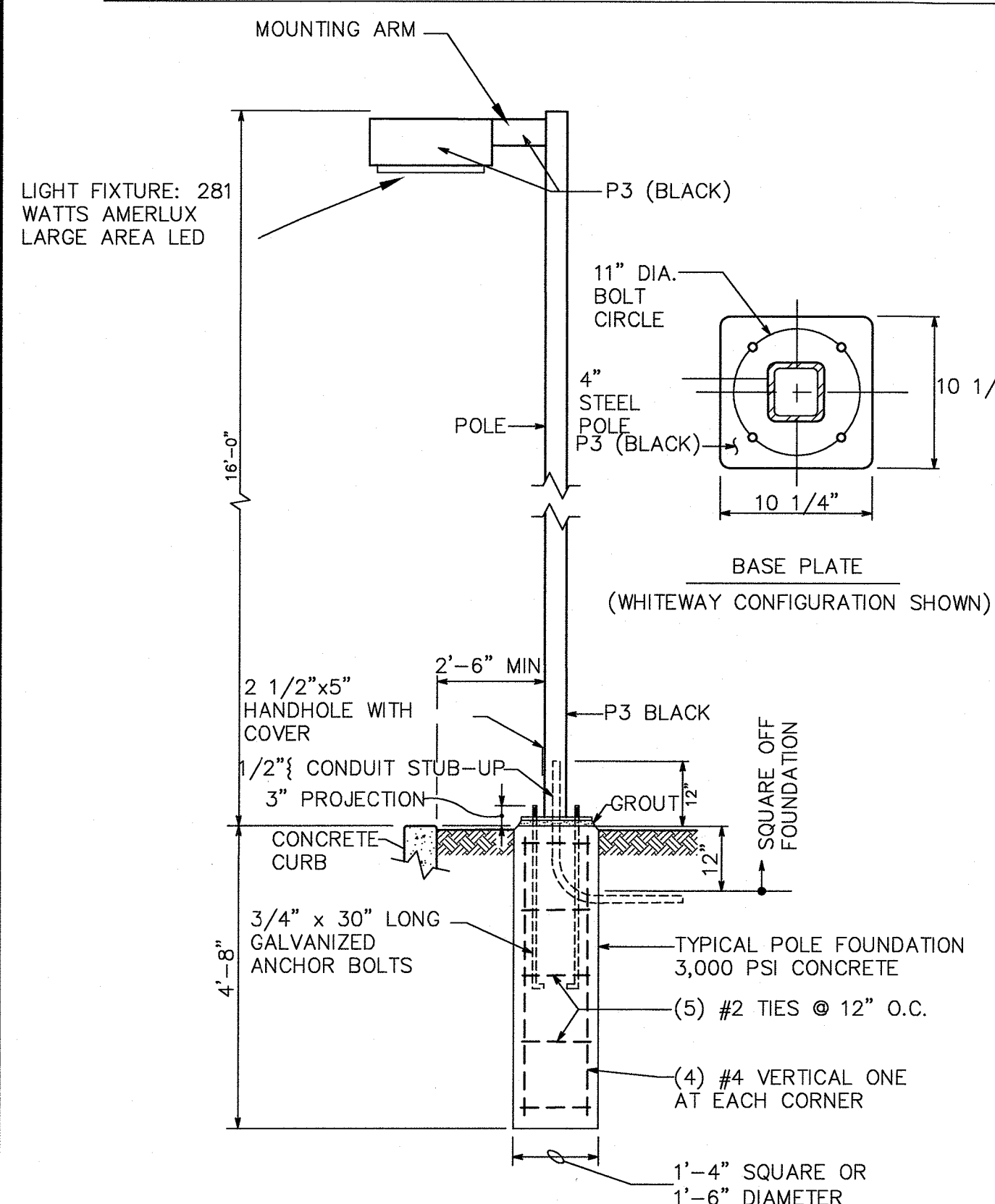
STANDARD ROAD CROSS SECTION

NOT TO SCALE



UNDERDRAIN DETAIL

NOT TO SCALE



TYPICAL STREET LIGHT DETAIL

NOT TO SCALE FURNISHED BY EXXON, INSTALLED BY G.C.: LIGHT FIXTURE, MOUNTING ARM, POLE, ANCHOR BOLTS, NUTS, AND WASHER. ALL OTHER MATERIALS FURNISHED AND INSTALLED BY G.C.