

THE PATIO AT CASEY'S

81 RAILROAD STREET, HOLLISTON MA, 01746



1 PERSPECTIVE VIEW
NOT TO SCALE

PROJECT TEAM

ARCHITECT
MATZ COLLABORATIVE
ARCHITECTS, INC.
50 SPEEN ST SUITE 300,
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ENGINEERS
311 GREAT ROAD,
LITTLETON, MA 01460

CIVIL ENGINEER
CDW CONSULTANTS
6 HURON DRIVE,
NATICK, MA 01760

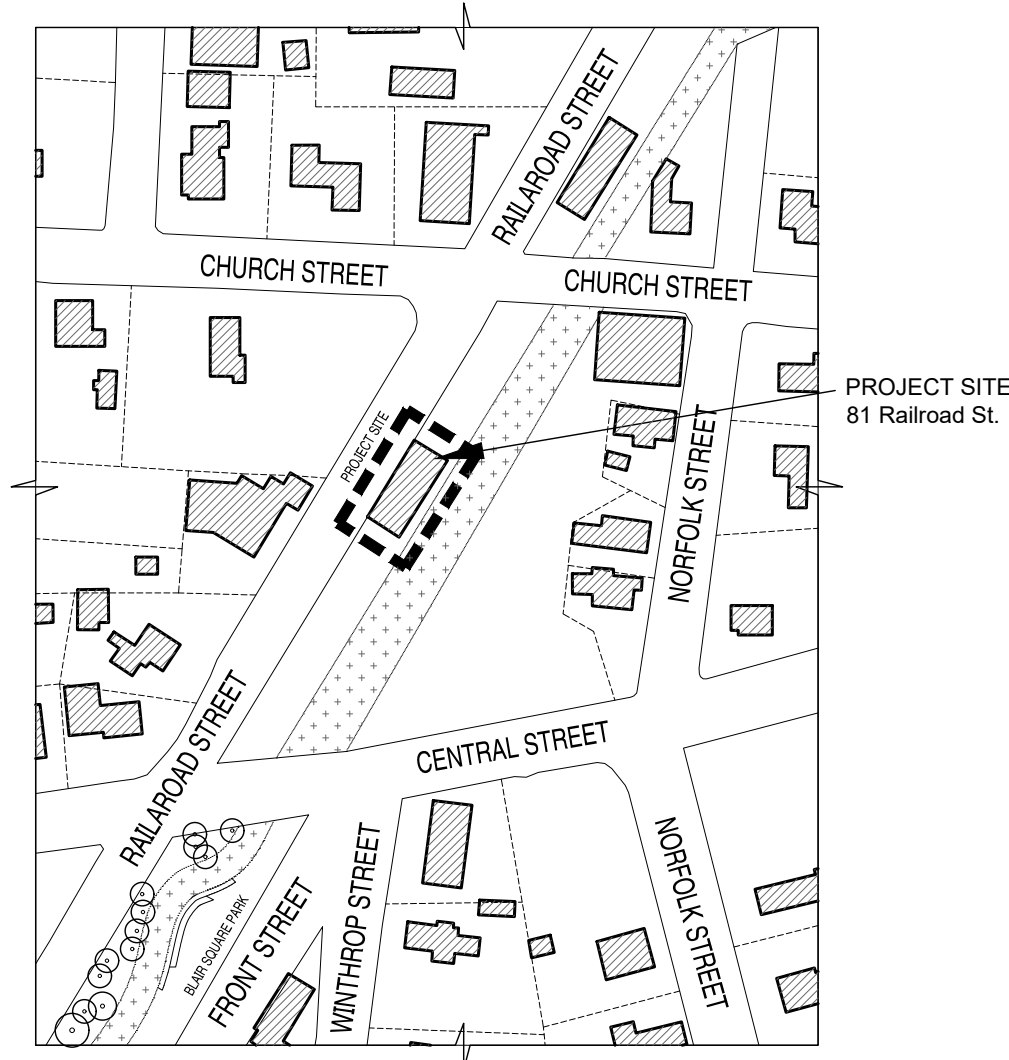
DRAWING LIST

CIVIL

- C000 - PLOT PLAN SITE SURVEY
- G000 - COVER SHEET
- G001 - NOTES & ABBREVIATIONS
- AD101 - DEMO PLAN
- A100 - EXISTING & PROPOSED SITE PLAN
- A101 - PROPOSED PATIO PLAN
- A102 - PROPOSED ROOF PLAN
- A121 - PROPOSED PATIO PLAN & RCP
- A201 - PROPOSED PATIO ELEVATIONS
- A201.1 - EXISTING CONDITION ELEVATIONS
- A202 - BATHROOM ELEVATIONS
- A203 - PROPOSED PATIO SECTION
- A301 - PATIO SECTIONS & ELEVATIONS
- A401 - ENLARGED VIEWS & CALLOUTS

STRUCTURAL

- S001 - STRUCTURAL NOTES, INDEX & ABBREVIATIONS
- S002 - STRUCTURAL NOTES AND SPECIFICATIONS
- S101 - FOUNDATION PLAN
- S102 - ADDITION ROOF FRAMING PLAN
- S201 - ADDITION FRAMING & TRUSS ELEVATION
- S301 - FOUNDATION & FRAMING SECTIONS



2 LOCUS PLAN
NOT TO SCALE

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THE PATIO AT CASEY'S

LOCATION:
81 Railroad St. Holliston
MA, 01746
MCA PROJECT #:
21-015

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REVISIONS		
No.	Date	Revision

DRAWING
COVER SHEET

SCALE:
As Noted
DATE:
01-5-2023
SHEET

G000

ARCHITECTURAL ABBREVIATIONS

NOTES & SYMBOLS

A	AT ABV A/C ACC AC ACT ADA ADD ADDL A.D. ADJ A.F.F. ALT. ALUM. A.P. APPD APPROX. A3 AUTH AUTO A/V	ANCHOR BOLT ABOVE AIR CONDITIONING ACCESSIBLE ACOUSTICAL ACOUSTICAL TILE AMERICANS WITH DISABILITIES ADDENDUM ADDITIONAL AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR ALTERNATE ALUMINUM ACCESS PANEL APPROVED APPROXIMATELY AUDITORIUM AUTHORIZED AUTOMATIC AUDIO/VISUAL
B	BB BOARD BIT. BLDG. BLK BLKG. B.M. B.O. BSMT. BTW.	BASE CABINET BULLETIN BOARD BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BENCH MARK BOTTOM OF BASEMENT BETWEEN
C	CAB. C.B. C.M. CFB CFM C.O. C.I. C.J. CLOS. CLOS. CLR C.O. COL. COMP CONC. CONST. CONTR. CORR. OPT. CSK. C.T. C.W.	CENTER LINE CABINET CATCH BASIN CEMENT/CEMENTITIOUS CEMENT FIBER BOARD CUBIC FEET PER MINUTE CORNER GUARD CAST IRON CONTROL JOINT CEILING CLOSET CLEAR CONCRETE MASONRY UNIT CLEAN OUT COLUMN COMPOSITION CONCRETE CONSTRUCTION CONTRACTOR CORRIDOR CARPET COUNTERSINK CERAMIC TILE COLD WATER
D	d DEM. D.F. D.H. DIA. DIM. DOWN D.P. D.O. DIR. DTL DWG.	PENNY DRAWER BASE DEMOLISH, DEMOLITION DRINKING FOUNTAIN DOUBLE HUNG DIAMETER DIMENSION DOWN DAMP PROOFING DUPLX OUTLET DOOR DETAIL DRAWING
E	E E.A. EGV E.J. ELEV. ELEV.F. EML ENCL. E.P. E.P.D.M. EQ. EQP. E.S. E.W. EWC EWH EXC. EXIST.	EAST EACH EMERGENCY GAS VALVE BOX EXPANSION JOINT ELEVATION (GRADE) ELECTRICAL ELEVATION (FACADE) ELEVATOR EXPANDED METAL LATH ENCLOSURE ELECTRICAL PANELBOARD ETHYLENE PROPYLENE DIENE MONOMER ROOFING EQUIPMENT EMERGENCY SHOWER EYE WASH ELECTRIC WATER COOLER ELECTRIC WATER HEATER EXCAVATED EXISTING
F	FC F.D. FON. FE FEC FUME FHC FIN. FLOOR. FOC FOF FOM FOS FPPB FT(I) FTG.	FIRE CODE FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FUME HOOD FIRE HOSE CABINET FINISH OR FINISHED FLUOR. FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUD FIRE PROTECTED PARTICLE BOARD FEET OR FOOT FOOTING
G	G GA. GAL. GALVANIZED. G.C. G.I. GL. GR GWB	GAS GAUGE GALLONS GALVANIZED GENERAL CONTRACTOR GALVANIZED IRON GLASS GROMMET GYPSUM BOARD
H	H.C. HDW. HM HOR. H.P. HR. HGT. HTR. HVAC H.W.	HOLLOW CORE HARDWARE HOLLOW METAL HORIZONTAL HIGH PERFORMANCE HOUR HEIGHT HEATER HEATING, VENTILATING & AIR CONDITIONING HOT WATER
I	I.D. IN. INC. INCL. INSUL. INT. INV.	INSIDE DIAMETER INCHES INCUBATOR INCLUDING OR INCLUDED INSULATION INTERIOR INVERT
J	JAN.CL. JT.	JANITOR CLOSET JOINT

NOTES & SYMBOLS

WALL FINISH FLOOR FINISH		SEE TYPES BELOW
DOOR TYPE HARDWARE SET		SEE TYPES BELOW
	EXISTING CONCRETE	
	WALL TO REMAIN.	
	PLASTER AND LATHE OVER METAL STUD WALL TO REMAIN.	
	NEW WALL	

GENERAL NOTES:

- VERIFY DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MARK OUT ENTIRE PROJECT ON SITE AND VERIFY CLEARANCES AND SETBACKS AT PROPERTY LINE AND EXISTING CONSTRUCTION TO REMAIN PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY.
- THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
- THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
- FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
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- VERIFY ALL EXISTING SUB-SURFACE CONDITIONS PRIOR TO CONSTRUCTION. LOCATE AND MARK ALL EXISTING SUBSURFACE SEPTIC, UTILITY, AND DRAINAGE SERVICES AND COORDINATE LOCATIONS WITH PROPOSED CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY.

DEMOLITION NOTES:

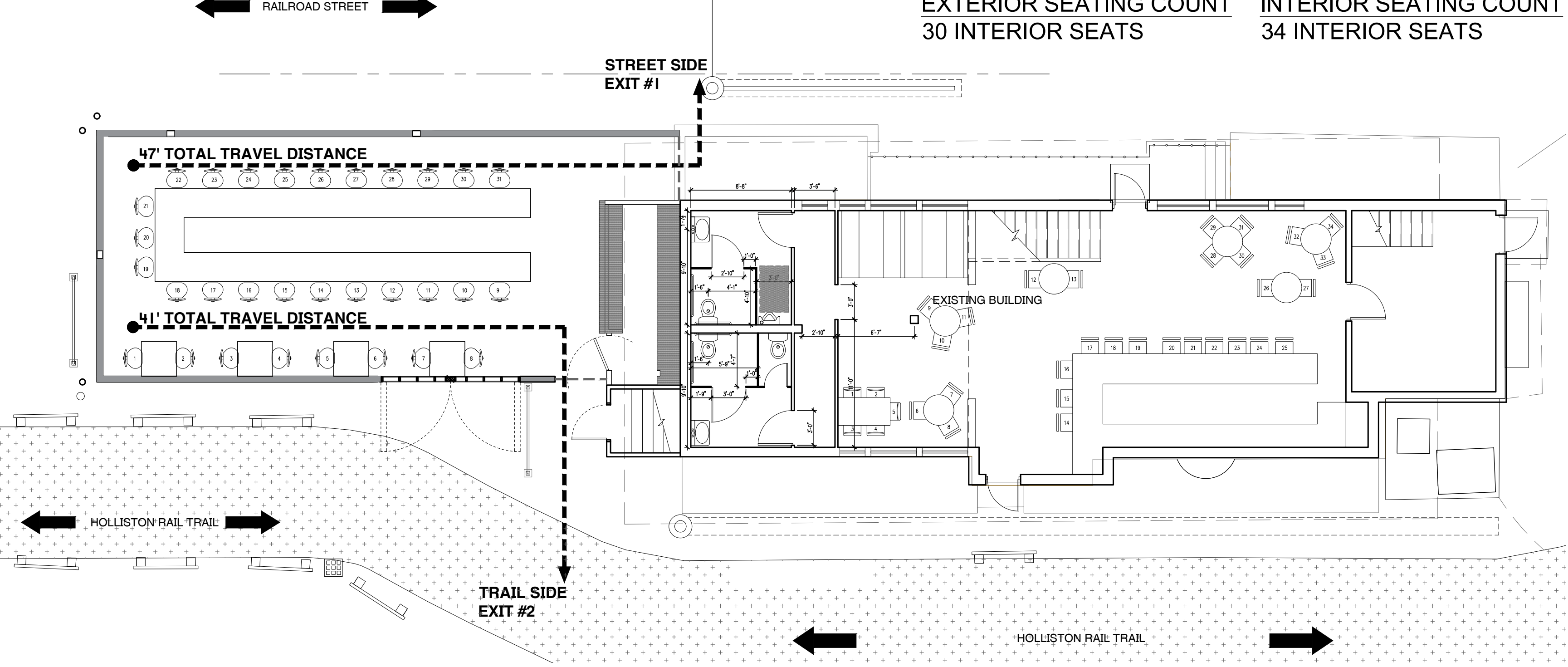
- ALL MECHANICAL AND ELECTRICAL SERVICE LINES TO BE REMOVED SHALL BE CUT OFF BY THEIR RESPECTIVE TRADES.
- ALL EXISTING STRUCTURAL ITEMS TO REMAIN. REMOVE NO MATERIAL OR ELEMENT WHICH PROVIDES SUPPORT OR STRUCTURE FOR OTHER PORTIONS OF THE BUILDING WITHOUT FIRST NOTIFYING THE ARCHITECT.
- NOTIFY OWNER PROJECT MANAGER 14 DAYS IN ADVANCE OF ANY INTENDED SHUTDOWNS OF EXISTING SYSTEMS OF ANY SORT. NOTIFY OWNER PROJ. MANAGER 14 DAYS IN ADVANCE OF REQUIRED ACCESS TO ADJACENT SPACES WHERE WORK IS TO BE PERFORMED. OWNER PROJECT MANAGER TO CONFIRM WITH USERS TIME AND DURATION OF SHUTDOWNS AND REQUIRED ACCESS TO ADJACENT SPACES AND TO INFORM CONTRACTOR IN WRITING OF APPROVAL OF ALL SHUTDOWNS AND WORK ACCESS TO SPACES.
- DURING DEMOLITION MAINTAIN FIRE RATING AT REMAINING STRUCTURAL ELEMENTS, BEAMS & FLOOR SLABS. EXISTING FIRE RATED ASSEMBLIES DAMAGED DURING CONSTRUCTION MUST BE REPAIRED AND CONFORM TO CURRENT FIRE PROTECTION STANDARDS. OPENINGS IN CONCRETE SLABS TO BE INFILLED, SEE DETAILS ON A100.
- COORDINATE SALVAGE OF ITEMS TO BE DEMOLISHED WITH OWNER PROJECT MANAGER PRIOR TO DEMOLITION.
- PROPERLY PROTECT ALL CONDITIONS THROUGHOUT ENTIRE PROJECT.

TRUSS NOTES:

- COORDINATE TRUSS LAYOUT ON DRAWINGS WITH TRUSS MANUFACTURER PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY VARIATION FROM DESIGN DOCUMENTS.
- COORDINATE DELIVERY, CRANE PICK, OR OTHER DISRUPTIONS WITH LOCAL AUTHORITIES PRIOR TO WORK. SEE SITE COORDINATION NOTES.
- COORDINATE FINISH/STAIN COLOR WITH HALF HEIGHT WALL. PROVIDE FINISH SAMPLES FOR MATCH REVIEW BY OWNER/ARCHITECT PRIOR TO FABRICATION.
- TRUSSES SHALL BE PROVIDED WITH CLEAR COAT FINISH AND APPROPRIATE STAIN TO MATCH HALF HEIGHT WALLS.
- METAL PLATES, BRACKETS AND FASTENERS SHALL BE PAINTED BLACK.

SITE COORDINATION NOTES:

- CONSTRUCTION SITE IS A HIGH TRAFFIC AREA WITH AUTOMOBILE, PEDESTRIAN, BICYCLE AND CHILDREN PASSING DIRECTLY BY THE SITE. CONTRACTOR SHALL PROPERLY SECURE THE CONSTRUCTION SITE DAILY AND PROVIDE APPROPRIATE SAFETY MARKINGS AS REQUIRED BY LAW.
- CONTRACTOR SHALL FIELD VERIFY SITE PROPERTY LINES AND SETBACKS, PROPERLY STAKE THE PROJECT OUT ON SITE AND CONFIRM ADJACENCIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OVERLAPS.
 - EXISTING SEPTIC INFRASTRUCTURE BENEATH SITE IS EXISTING TO REMAIN. VERIFY LOCATIONS OF ITEMS IN FIELD PRIOR TO CONSTRUCTION. CONFIRM CONSTRUCTION WITH TOWN AHS PRIOR TO CONSTRUCTION. MAINTAIN CLEARANCES TO ACCESS AND OR REPLACE INFRASTRUCTURE IN FUTURE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONDITIONS WHICH REQUIRE MODIFICATION OF THE DESIGN.
 - SITE IS DIRECTLY ADJACENT TO THE HOLLISTON RAIL TRAIL (PART OF THE UPPER CHARLES RAIL TRAIL). COORDINATE WORK WITH PROPER AUTHORITIES DURING ALL PHASES OF THE WORK.
 - COORDINATE ALL SITE WORK, DELIVERIES, CRANE PICKS, OR OTHER DISRUPTIONS WHICH MAY AFFECT STREET CLEARANCE WITH LOCAL POLICE AND FIRE DEPARTMENT AUTHORITIES PRIOR TO EXECUTION AND IN ACCORDANCE WITH LOCAL REQUIREMENTS.
 - COORDINATE DRAINAGE, AND RAIN WATER RUNOFF FROM ROOF WITH ADJACENT RAIL TRAIL AUTHORITIES AND SITE CONDITIONS.



PROPOSED
COVERED PATIO
1120 SF FOOTPRINT

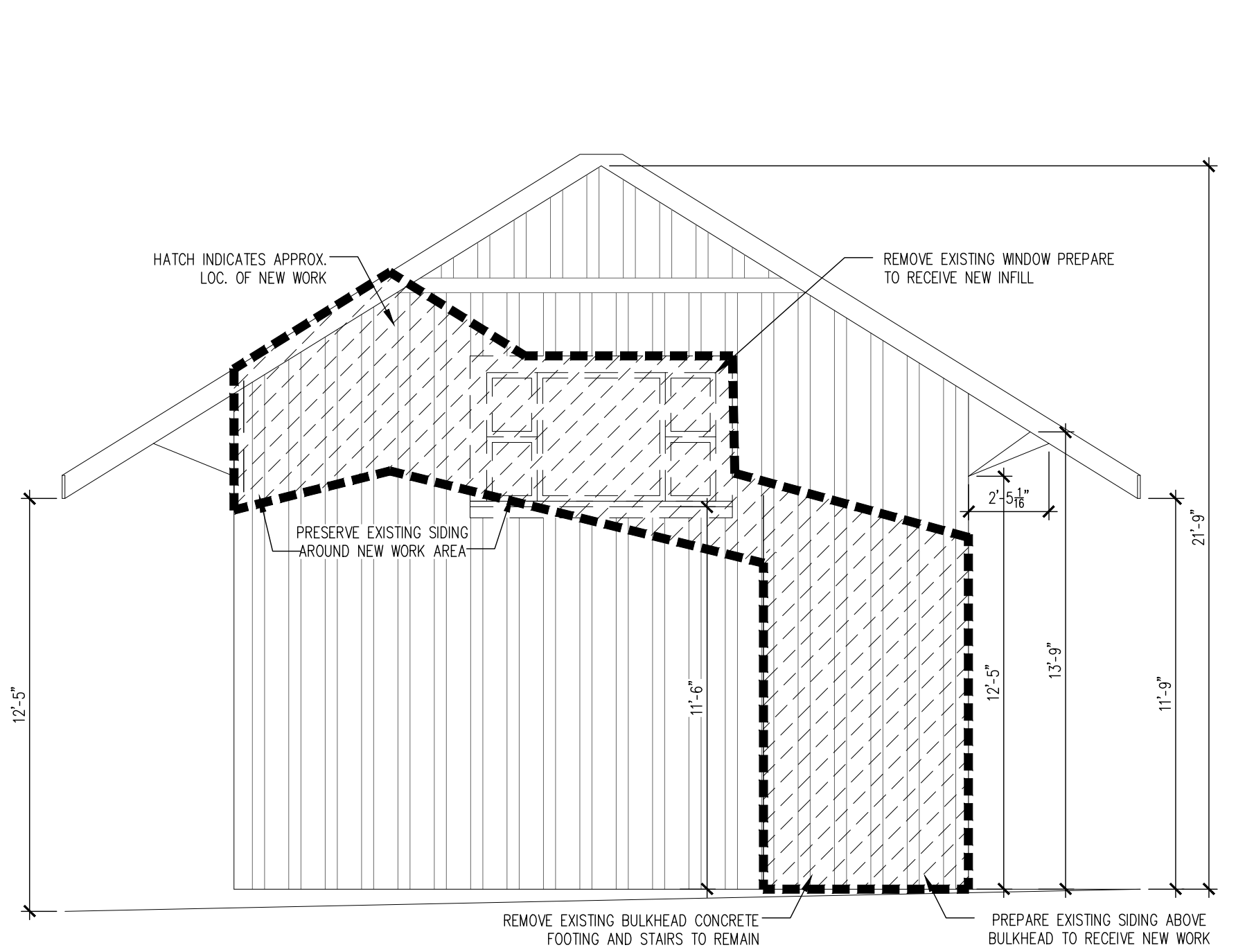
EXISTING RESTAURANT
BUILDING
1550 SF FOOTPRINT

FOOTPRINT TABLE

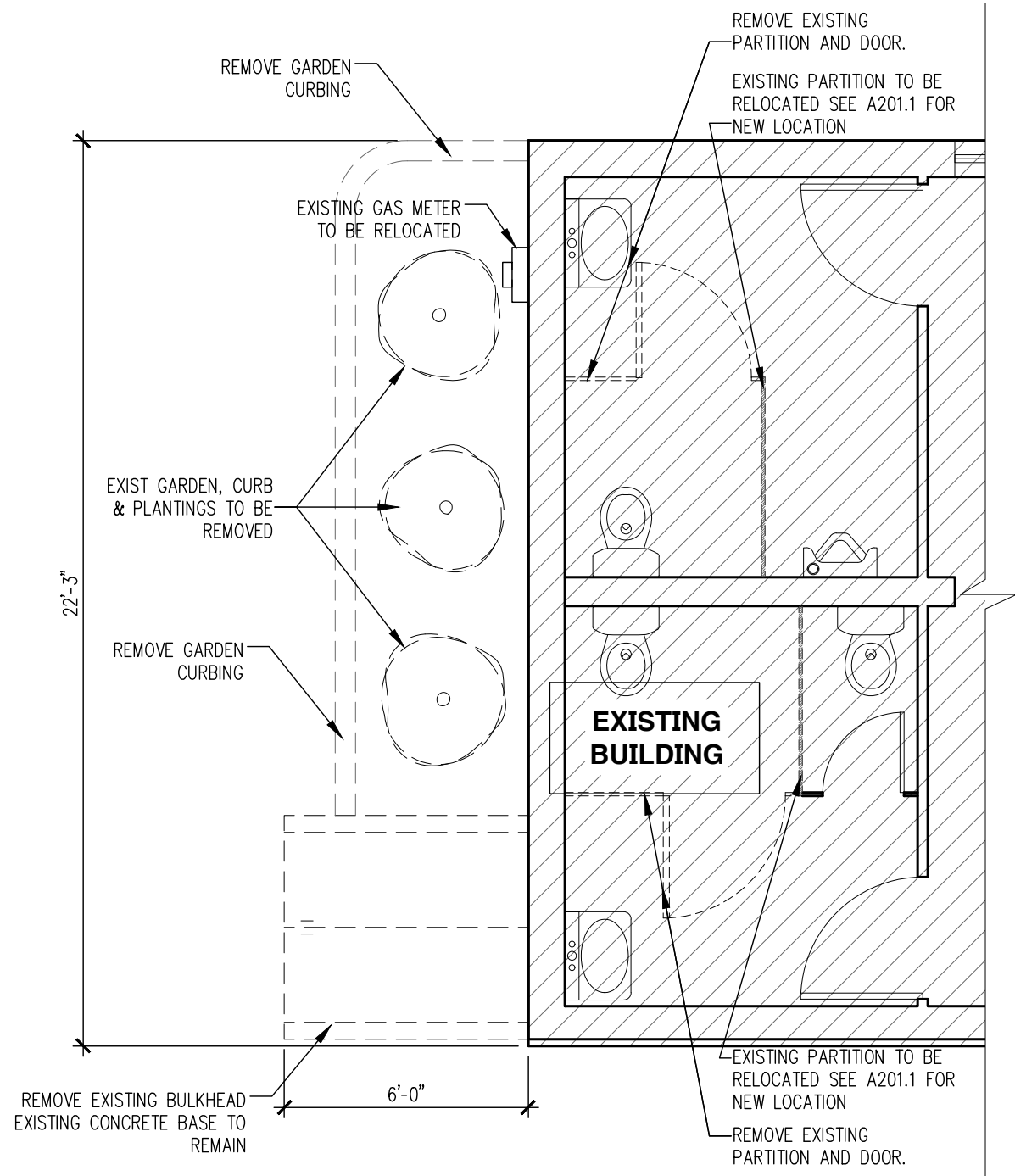
EXISTING : 1550 SF
PROPOSED (OUTDOOR COVERED PATIO): 1263 SF
TOTAL: 2813 SF

AREA TABLE

EXISTING 1ST FLOOR: 1550SF
EXISTING BASEMENT: 1373SF
EXISTING LOFT: 546SF
TOTAL EXIST: 3469SF
PROPOSED (OUTDOOR COVERED PATIO): 1263 SF
TOTAL W/ PROPOSED: 4732 SF



1 DEMO ELEVATION
1/4" = 1'-0"



2 DEMO PLAN
1/4" = 1'-0"

DEMOLITION KEY

- EXISTING WALL TO BE REMOVED. SEE KEY NOTES FOR WALL TYPE.
- EXISTING WALL TO REMAIN.
- EXISTING DOOR TO REMAIN.
- EXISTING DOOR TO BE REMOVED.

DEMOLITION NOTES

- ALL MECHANICAL AND ELECTRICAL SERVICE LINES TO BE REMOVED SHALL BE CUT OFF BY THEIR RESPECTIVE TRADES.
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81 Railroad St. Holliston
MA, 01746
Tel: (508) 429-4888

CONSULTANT

PROJECT

THE PATIO AT
CASEY'S

LOCATION:

81 Railroad St. Holliston
MA, 01746

MCA PROJECT #:

21-015

STAMP

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REVISIONS

No.	Date	Revision

DRAWING

DEMO PLAN

SCALE:

As Noted

DATE:

01-5-2023

SHEET

AD101

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REVISIONS

No.	Date	Revision
1	3/17	PLANNING BOARD 3/2/23

DRAWING

**EXISTING & PROPOSED
SITE PLAN**

SCALE:

As Noted

DATE:

01-5-2023

SHEET

A100

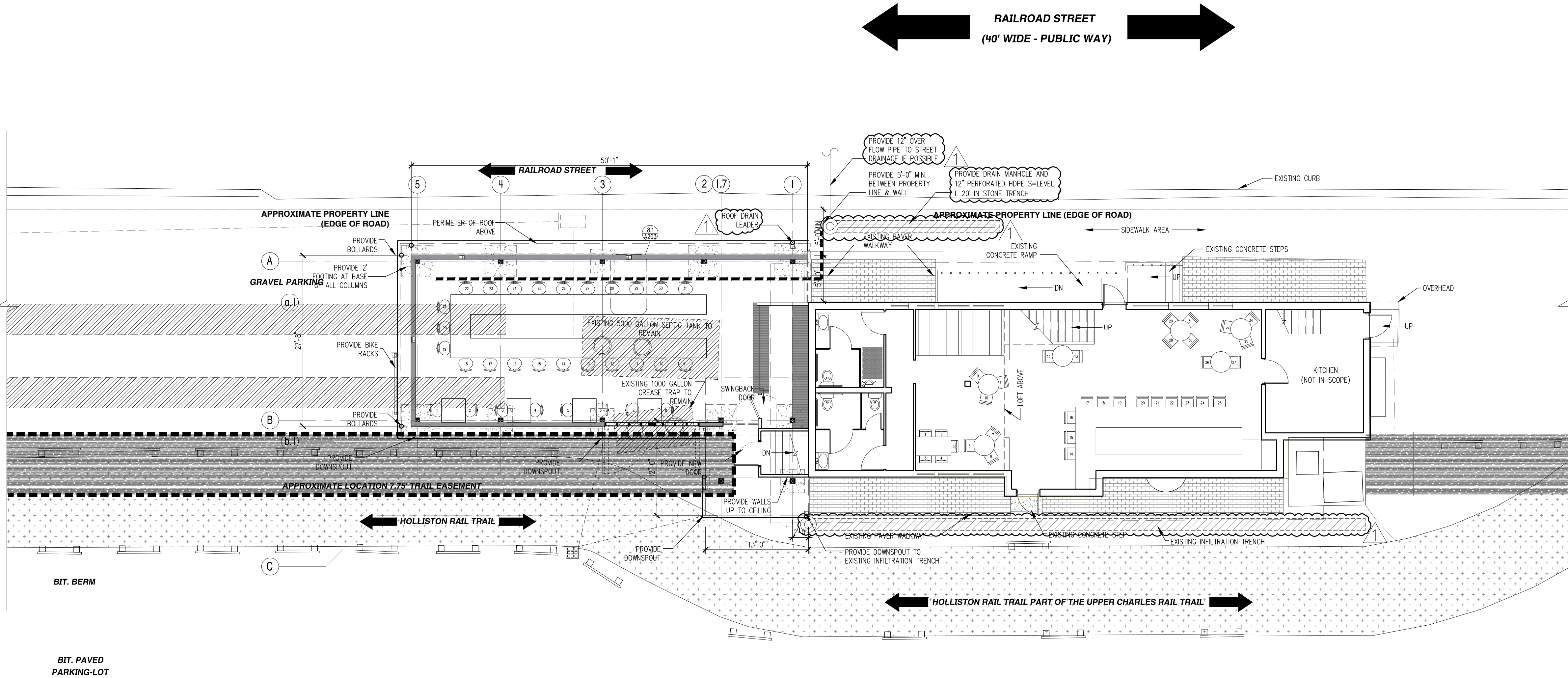
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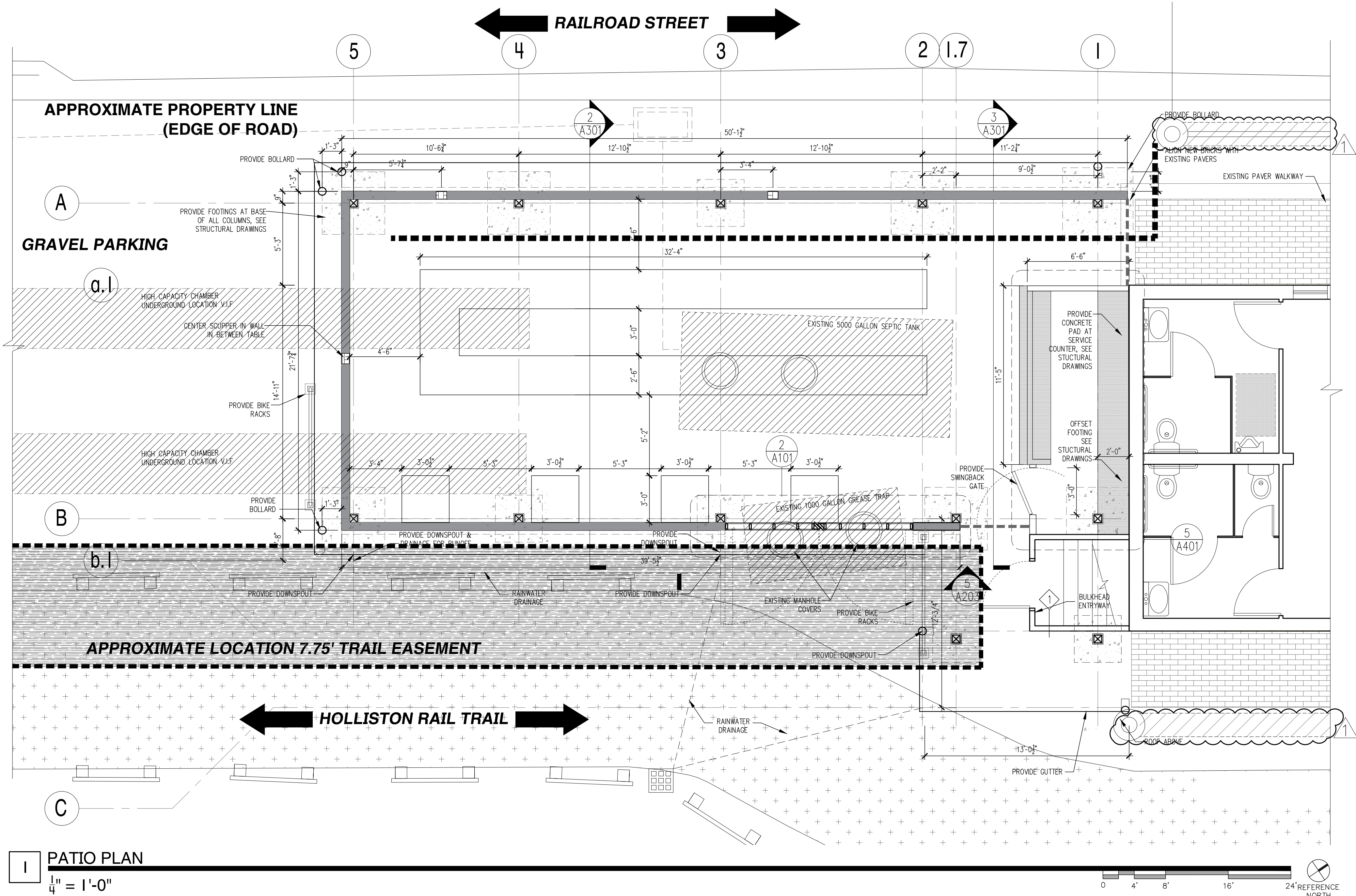
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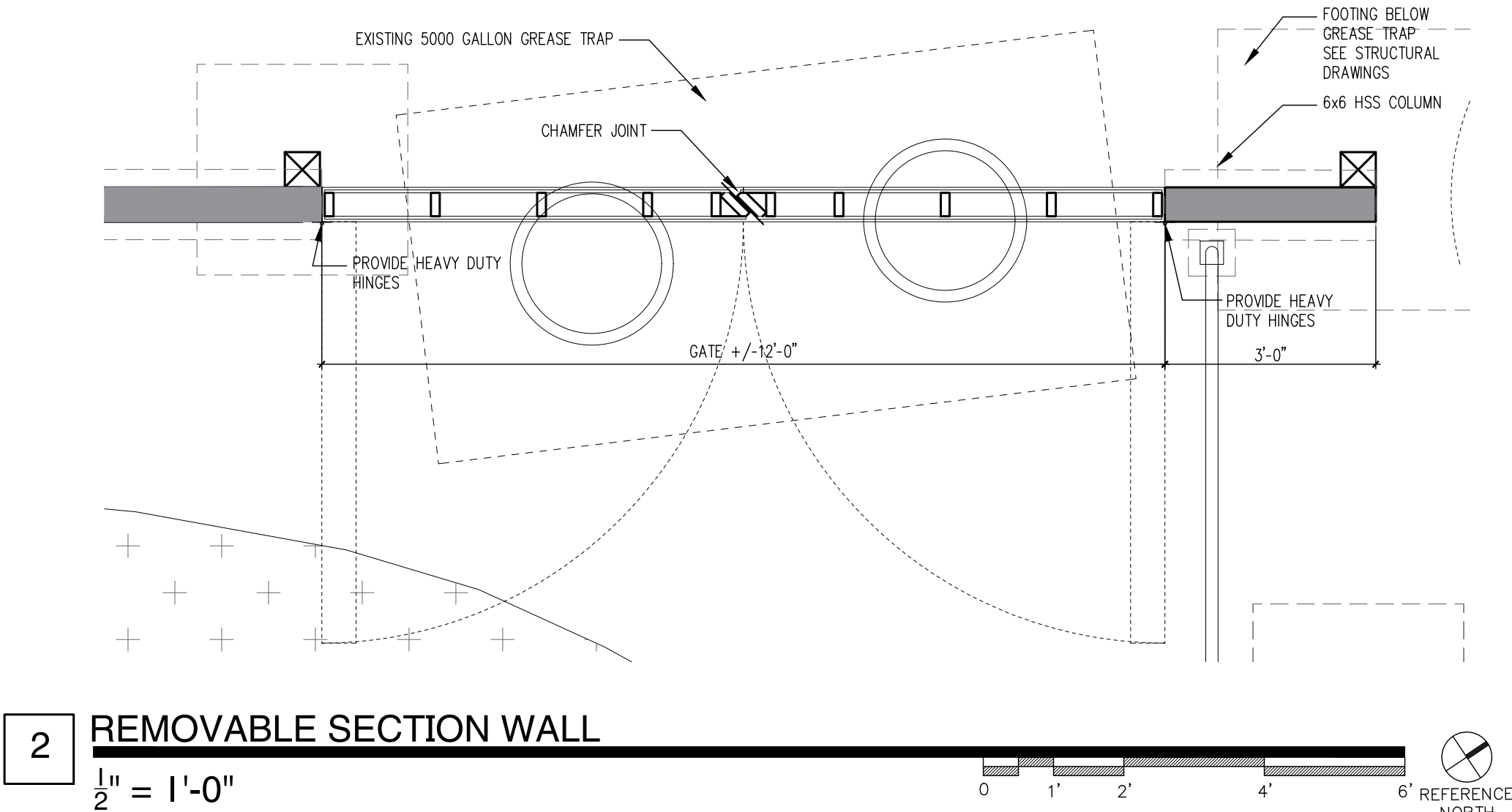
I ARCHITECTURAL SITE PLAN
1/8" = 1'-0"



PLANNING SET I-5-2023



I PATIO PLAN
1/4" = 1'-0"



2 REMOVABLE SECTION WALL
1/2" = 1'-0"

DRAWING KEY

- WALL FINISH
FLOOR FINISH
DOOR TYPE
HARDWARE SET
EXISTING CONCRETE WALL TO REMAIN
EXISTING HEAVY PLASTER AND LATHE OVER METAL STUD WALL TO REMAIN
NEW WALL

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REVISIONS

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1	3/17	PLANNING BOARD 3/2/23

DRAWING

**PROPOSED PATIO
PLAN**

SCALE:

As Noted

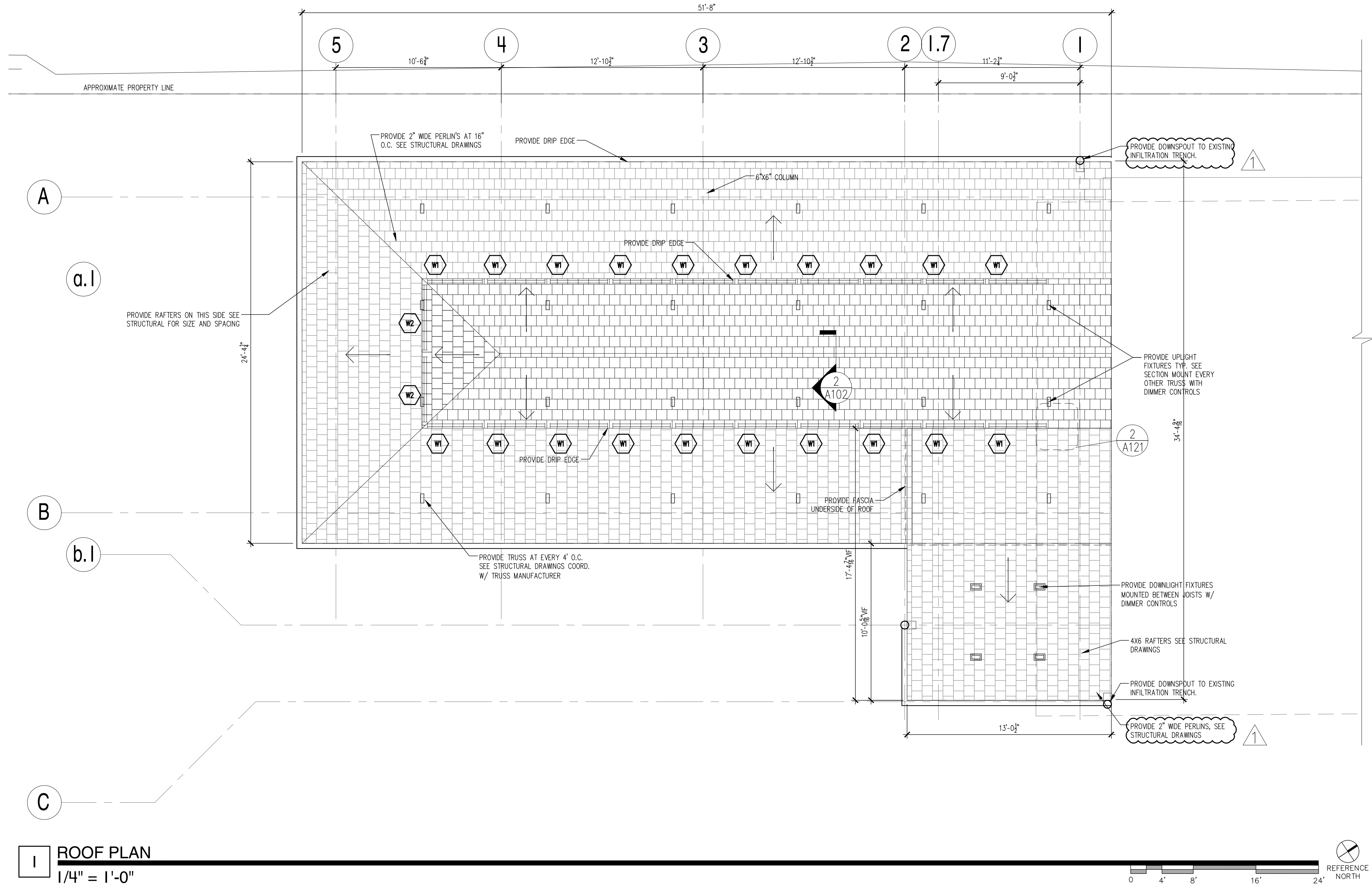
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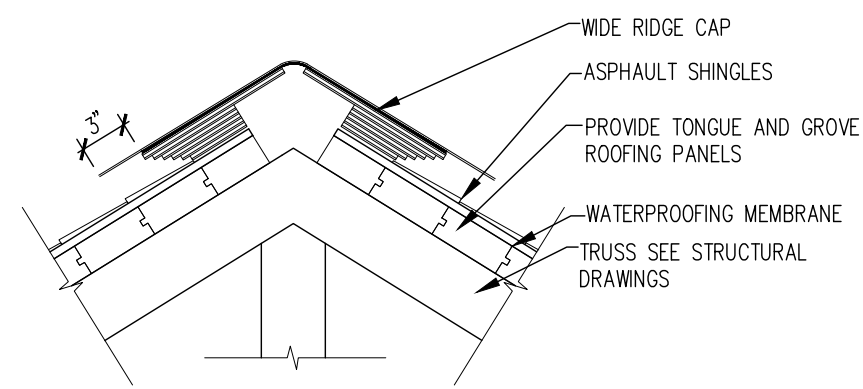
SHEET

A101

PLANNING SET I-5-2023





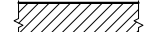
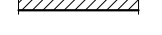
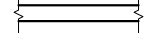


1 ROOF PLAN
1/4" = 1'-0"



2 TYP. RIDGE VENT DETAIL
1" = 1'-0"

DRAWING KEY

- WALL FINISH  SEE TYPES BELOW
FLOOR FINISH  SEE TYPES BELOW
DOOR TYPE  SEE TYPES BELOW
HARDWARE SET  SEE TYPES BELOW
 EXISTING CONCRETE WALL TO REMAIN.
 EXISTING HEAVY PLASTER AND LATHE OVER METAL STUD WALL TO REMAIN.
 NEW WALL

GENERAL NOTES

- VERIFY DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MARK OUT ENTIRE PROJECT ON SITE AND VERIFY CLEARANCES AND SETBACKS AT PROPERTY LINE AND EXISTING CONSTRUCTION TO REMAIN PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY.
- THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
- THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
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81 Railroad St. Holliston
MA, 01746
Tel: (508) 429-4888

CONSULTANT

PROJECT

THE PATIO AT
CASEY'S

LOCATION:

81 Railroad St. Holliston
MA, 01746

MCA PROJECT #:

21-015

STAMP

Document shall not be used for construction or to obtain building permits without stamp and signature.

REVISIONS

No.	Date	Revision
1	3/17	PLANNING BOARD 3/2/23

DRAWING

PROPOSED ROOF PLAN

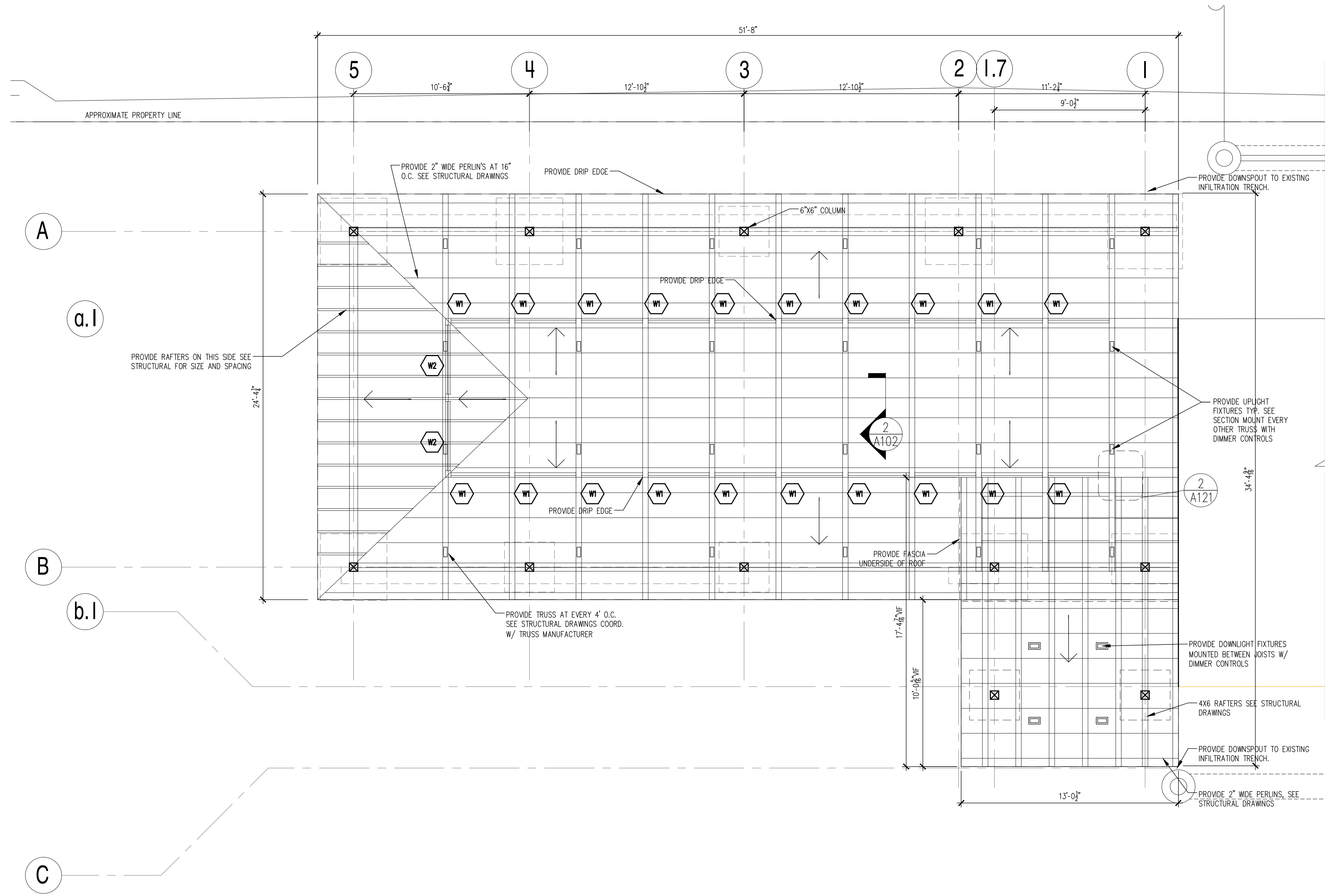
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As Noted

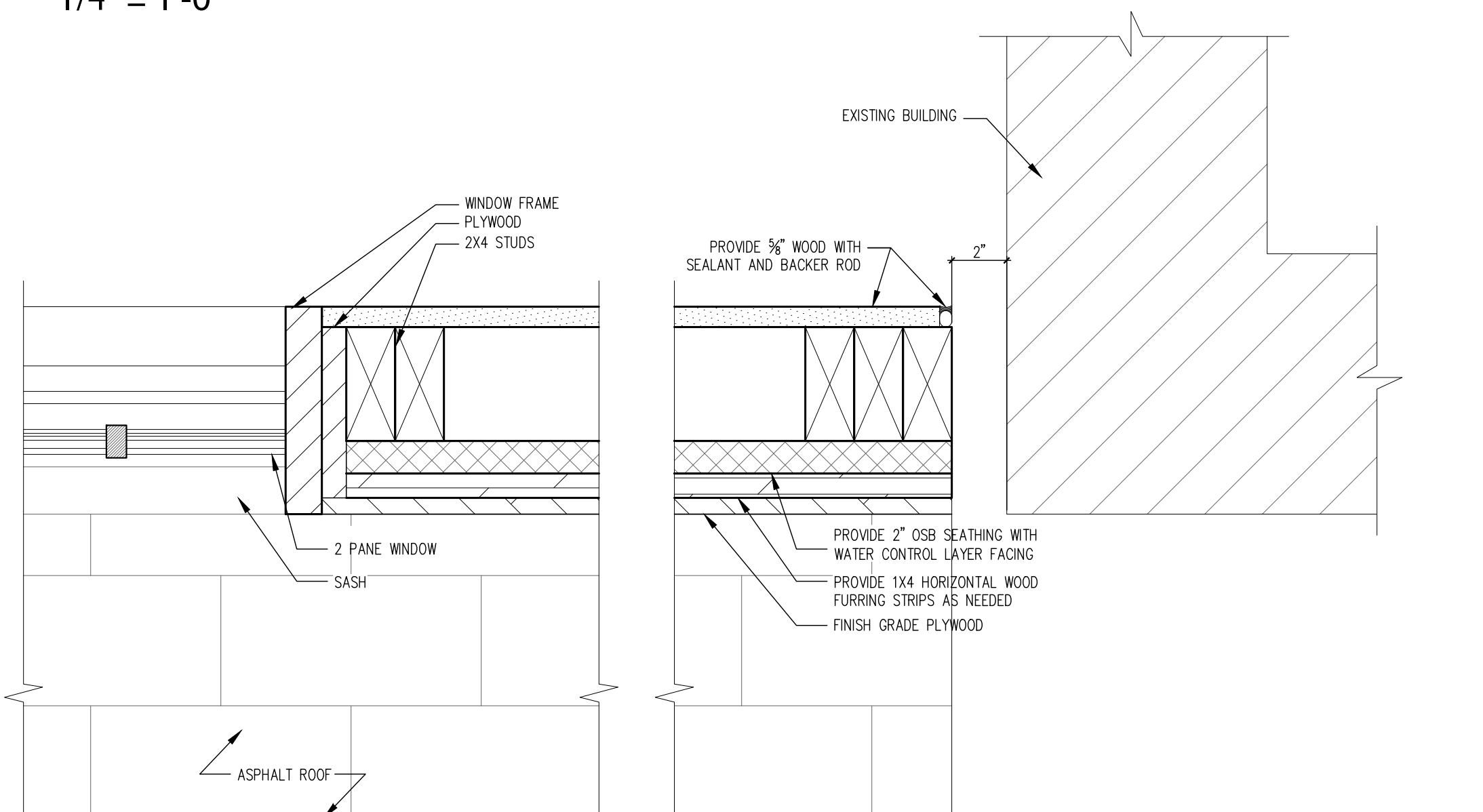
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01-5-2023

SHEET



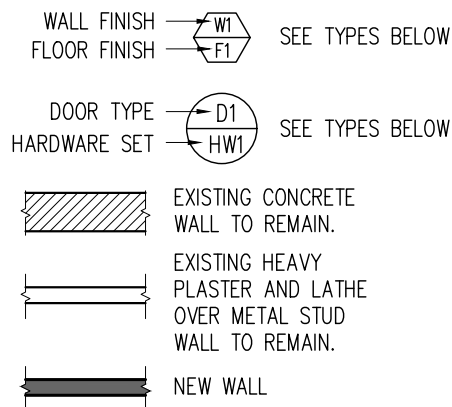
1 REFLECTED CEILING PLAN
1/4" = 1'-0"



2 CONNECT TO
3\"/>

Plotted on: 1/05/2023

DRAWING KEY



GENERAL NOTES

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REVISIONS

No.	Date	Revision

DRAWING

**PROPOSED PATIO
PLAN & RCP**

SCALE:

As Noted

DATE:

01-5-2023

SHEET

PLANNING SET 1-5-2023

A121

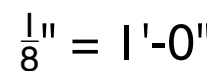
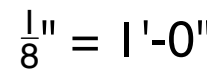
WALL FINISH — (W1) SEE TYPES BELOW
FLOOR FINISH — (F1)

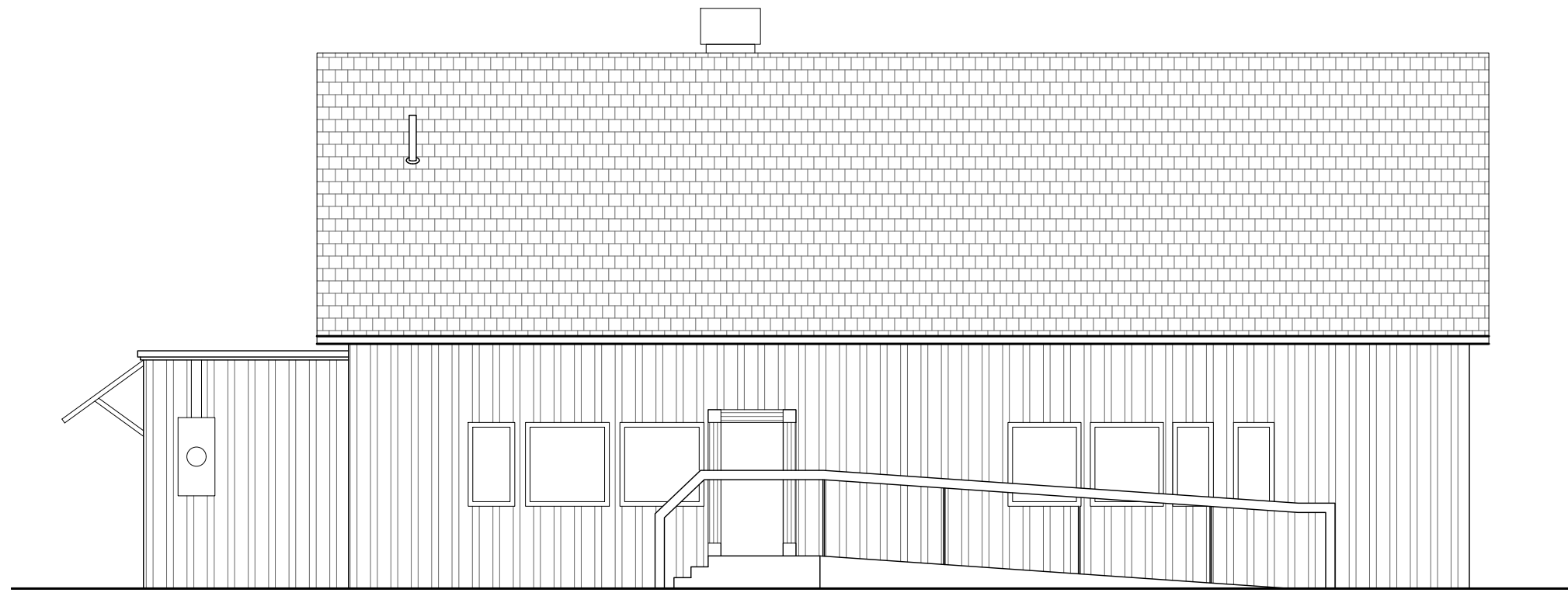
DOOR TYPE — (D1)
HARDWARE SET — (HW1) SEE TYPES BELOW

- VERIFY DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MARK OUT ENTIRE PROJECT ON SITE AND VERIFY CLEARANCES AND SETBACKS AT PROPERTY LINE AND EXISTING CONSTRUCTION TO REMAIN PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY.
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- VERIFY ALL EXISTING SUB-SURFACE CONDITIONS PRIOR TO CONSTRUCTION. LOCATE AND EXPOSE ALL EXISTING UTILITIES, WATER, GAS, SEWER, AND DRAINAGE SERVICES AND CORRELATE LOCATIONS WITH PROPOSED CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY.

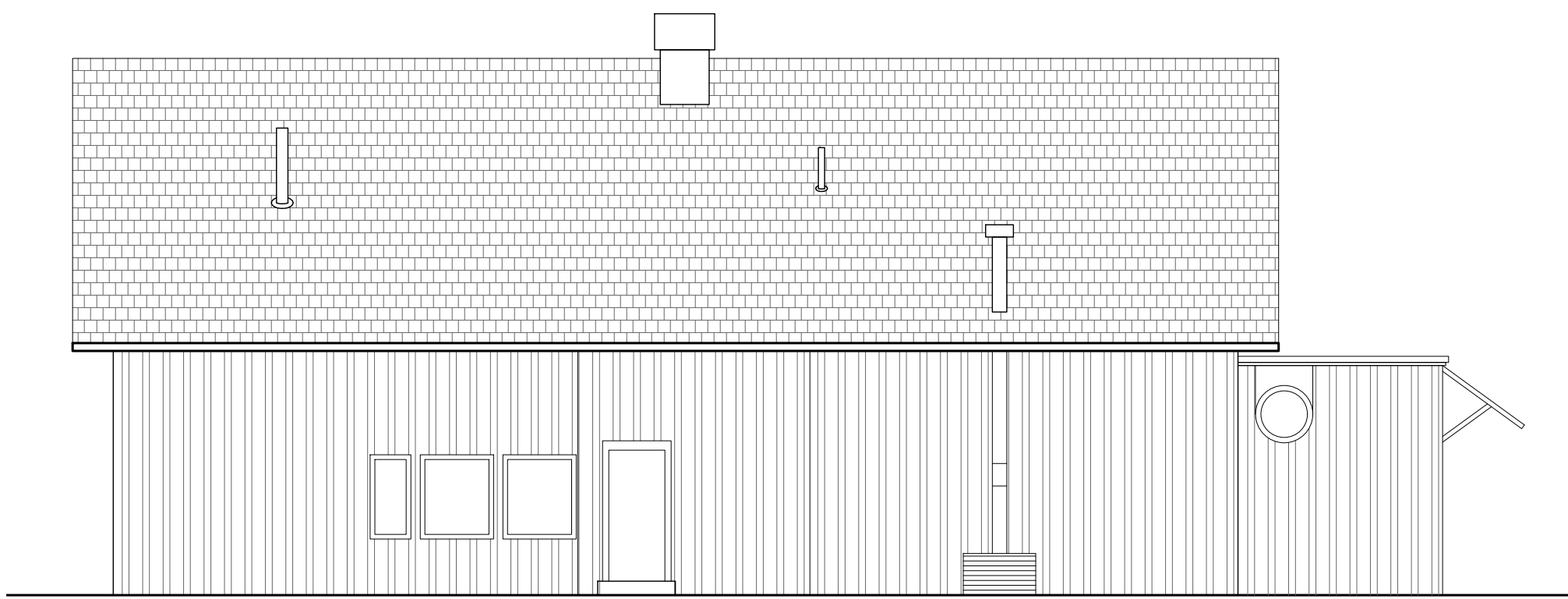
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PLANNING SET 1-5-2023

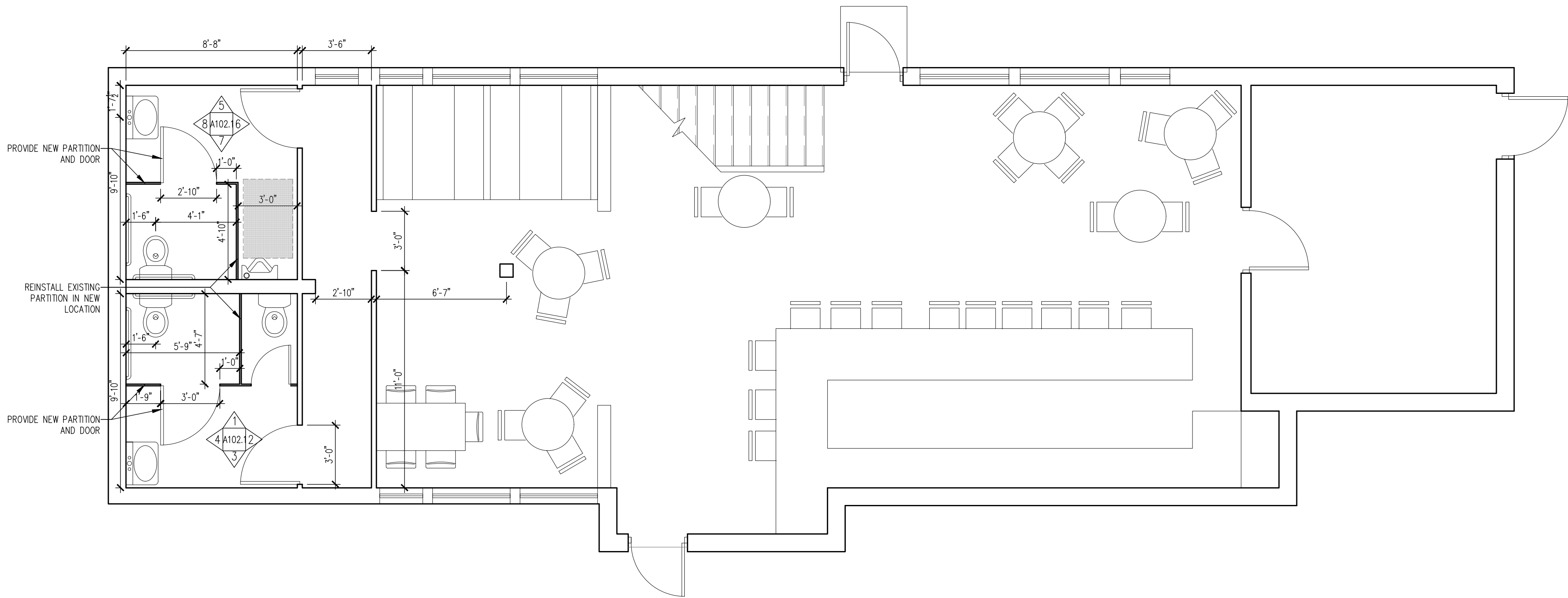




1 EXISTING CONDITIONS ELEVATION 1
1/8" = 1'-0"

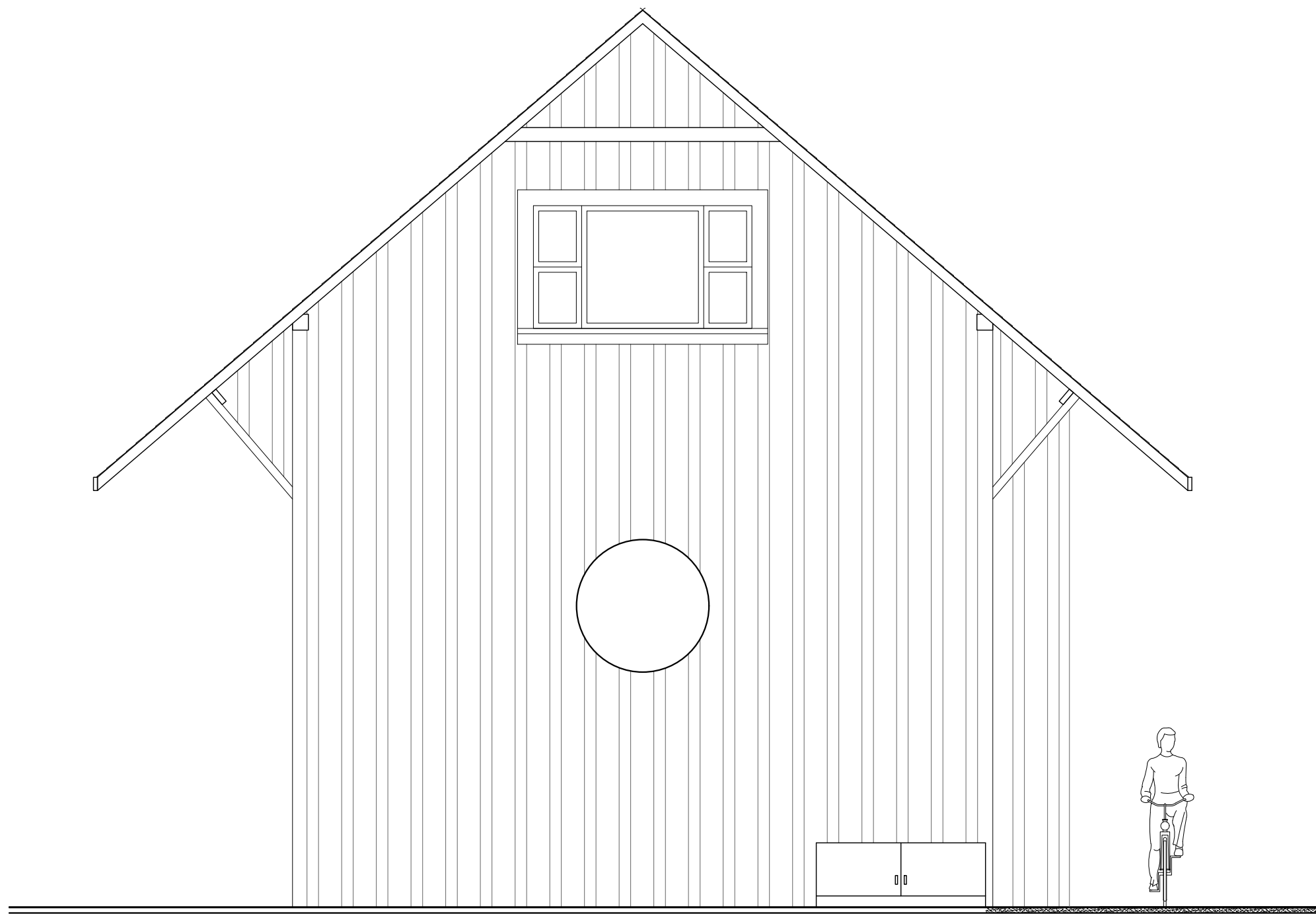


2 EXISTING CONDITIONS ELEVATION 2
1/8" = 1'-0"



3 PROPOSED FLOOR PLAN @ BATHROOMS
1/4" = 1'-0"

NOTE:
EXISTING CONDITIONS SHOWN FOR
REFERENCE ONLY



4 EXISTING CONDITIONS ELEVATION 3
1/4" = 1'-0"

DRAWING KEY

- WALL FINISH: SEE TYPES BELOW
- FLOOR FINISH: SEE TYPES BELOW
- DOOR TYPE: SEE TYPES BELOW
- HARDWARE SET: SEE TYPES BELOW
- EXISTING CONCRETE WALL TO REMAIN
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CONSULTANT

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THE PATIO AT
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LOCATION:

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MCA PROJECT #:

21-015

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REVISIONS

No.	Date	Revision

DRAWING

EXISTING CONDITIONS
ELEVATIONS

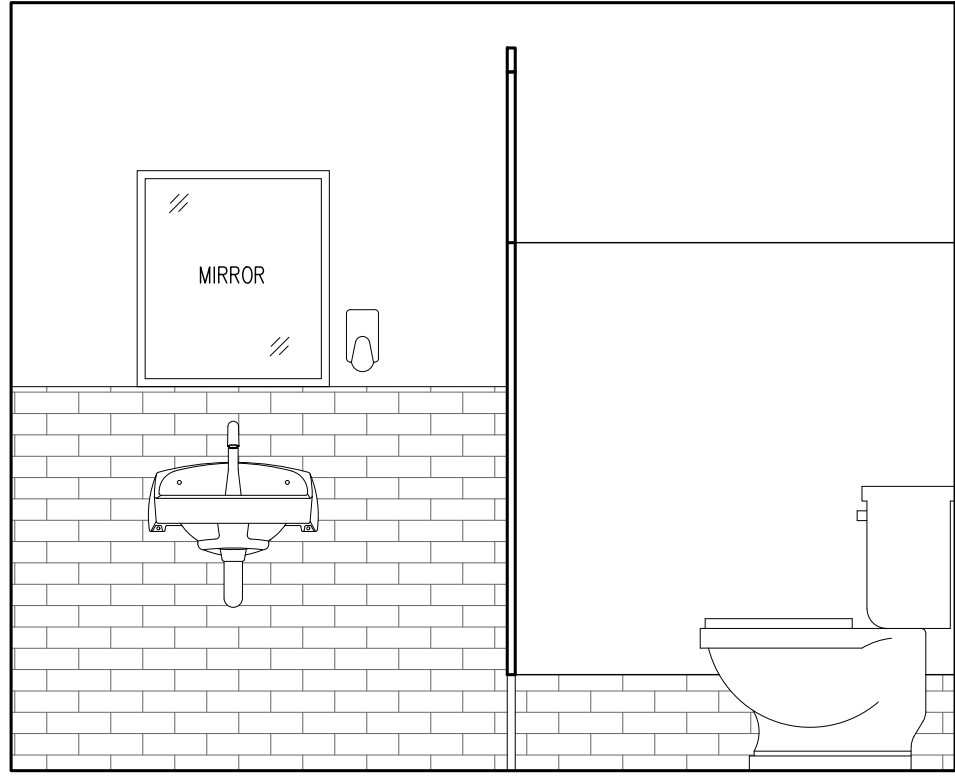
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As Noted

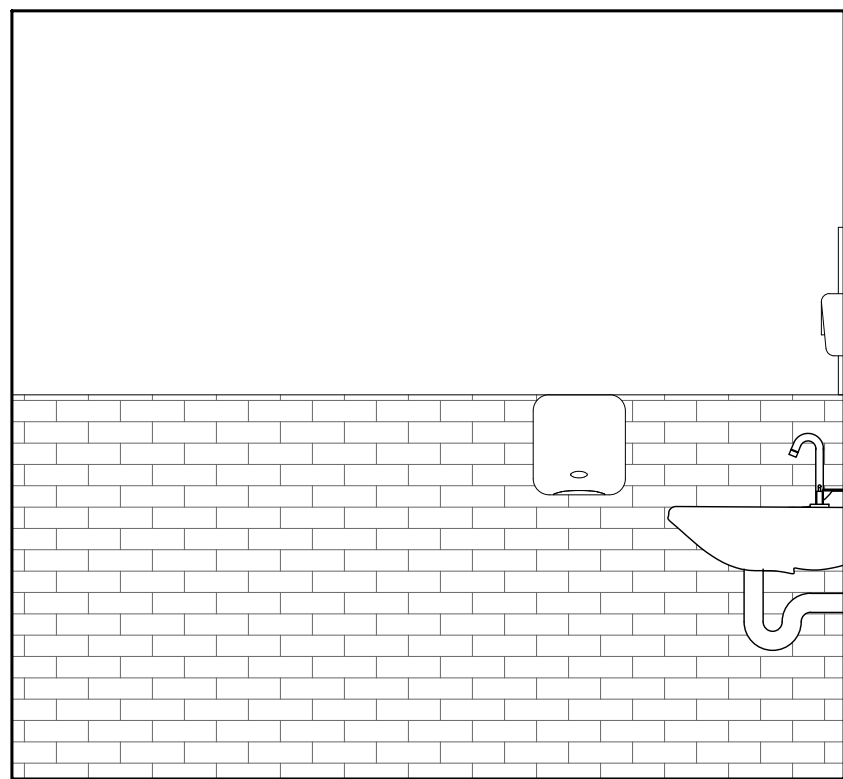
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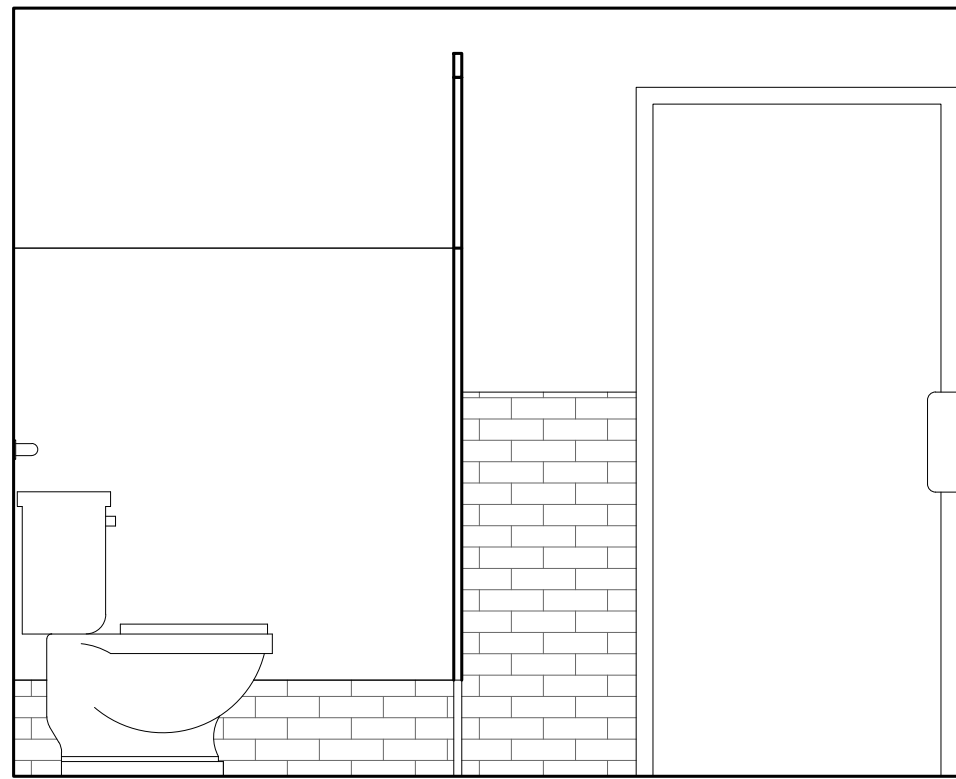
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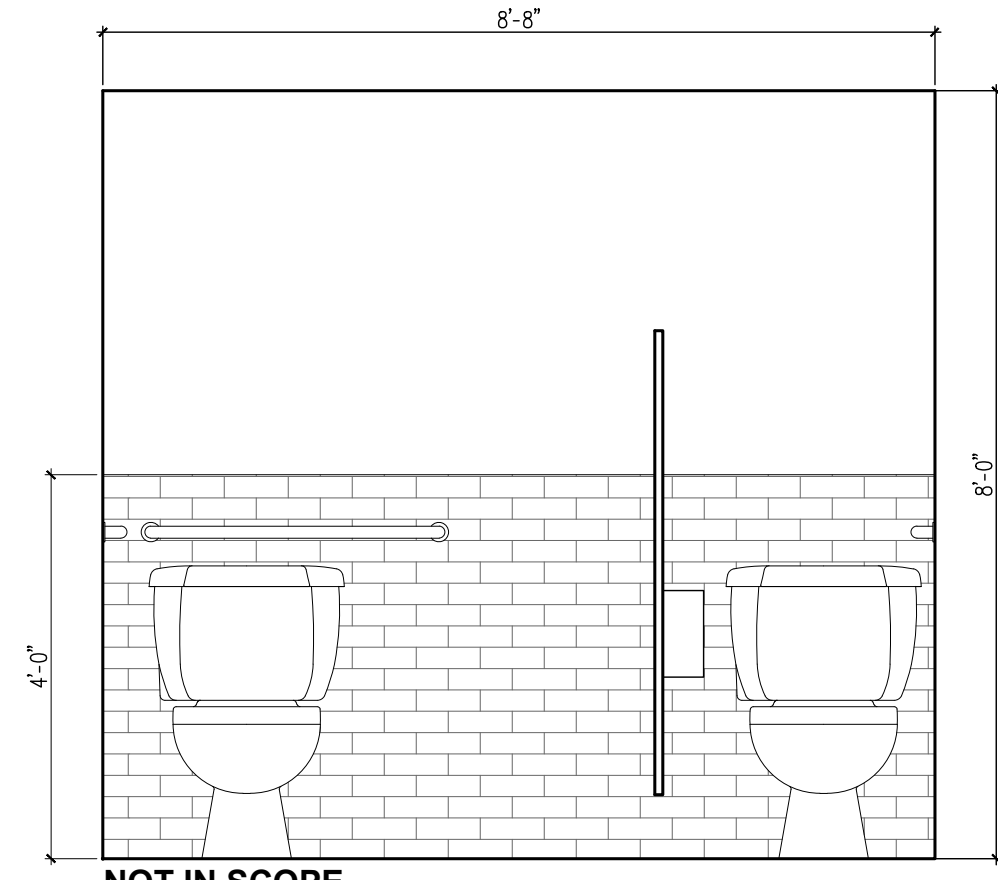
4 WOMENS ROOM ELEVATION 4
1/2" = 1'-0"



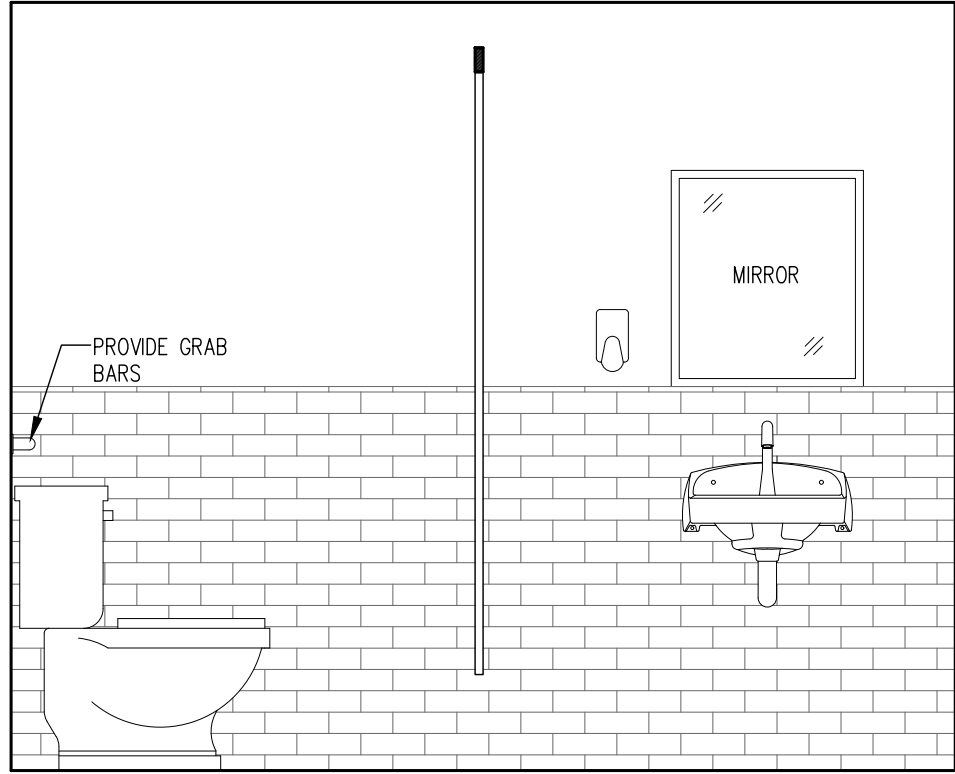
NOT IN SCOPE -
ELEVATION SHOWN FOR
REFERENCE
3 WOMENS ROOM ELEVATION 3
1/2" = 1'-0"



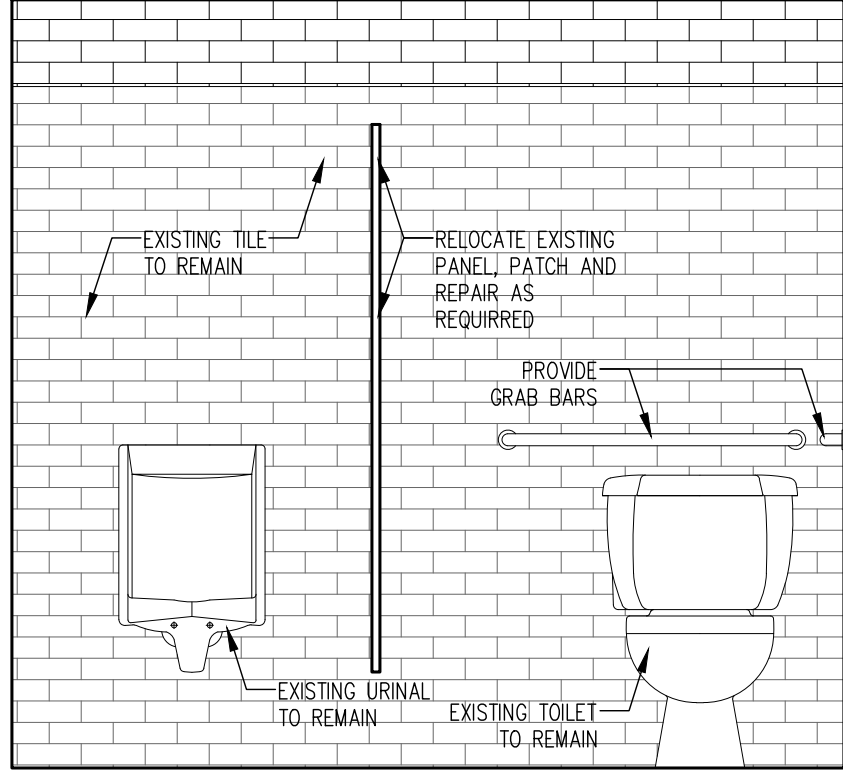
2 WOMENS ROOM ELEVATION 2
1/2" = 1'-0"



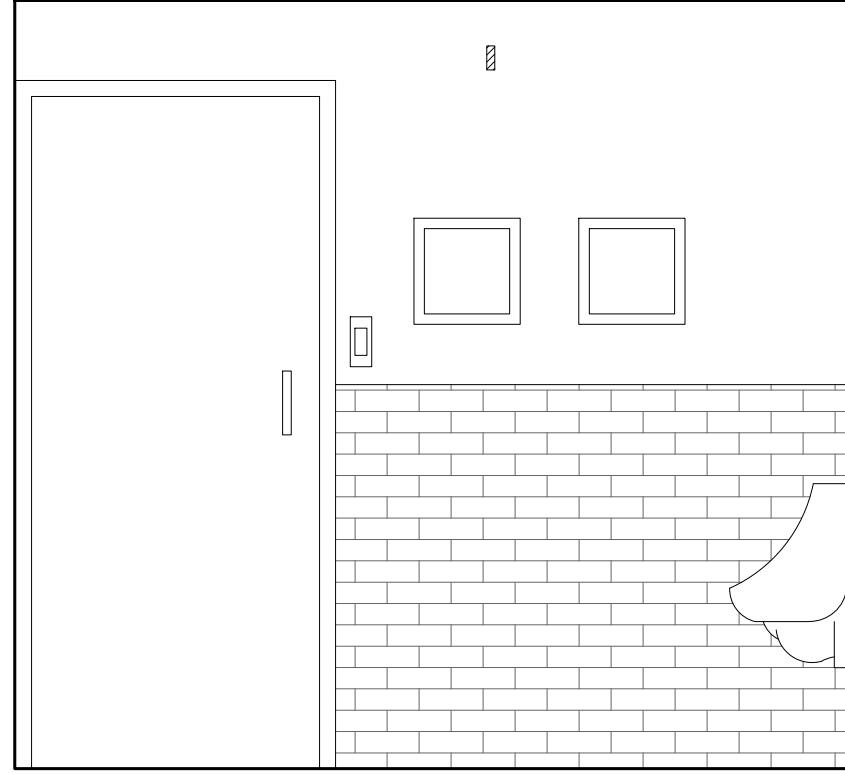
NOT IN SCOPE -
ELEVATION SHOWN FOR
REFERENCE
1 WOMENS ROOM ELEVATION 1
1/2" = 1'-0"



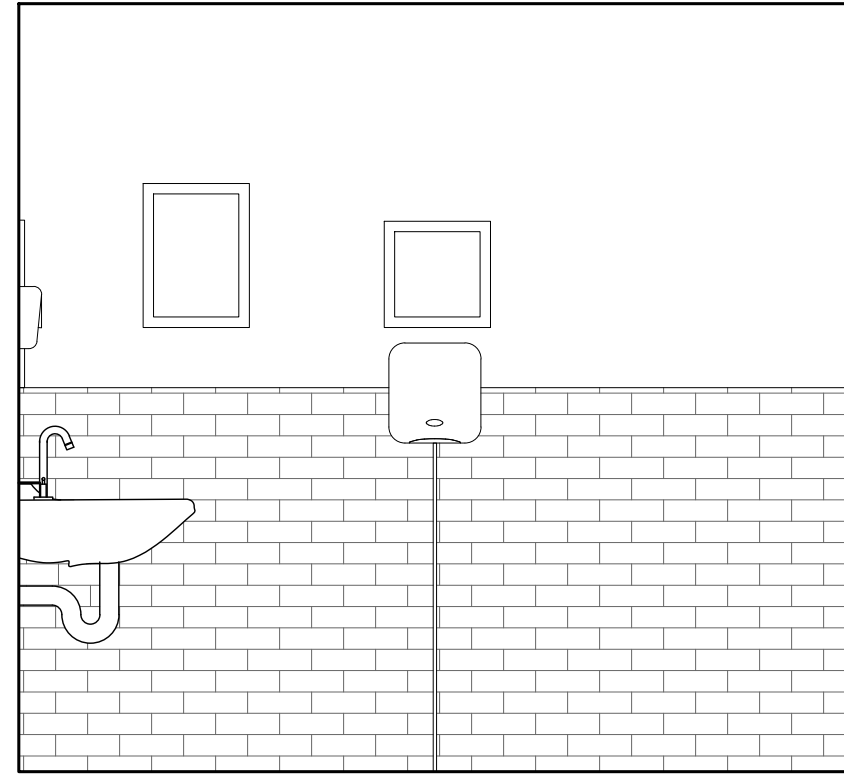
9 MENS ROOM ELEVATION 4
1/2" = 1'-0"



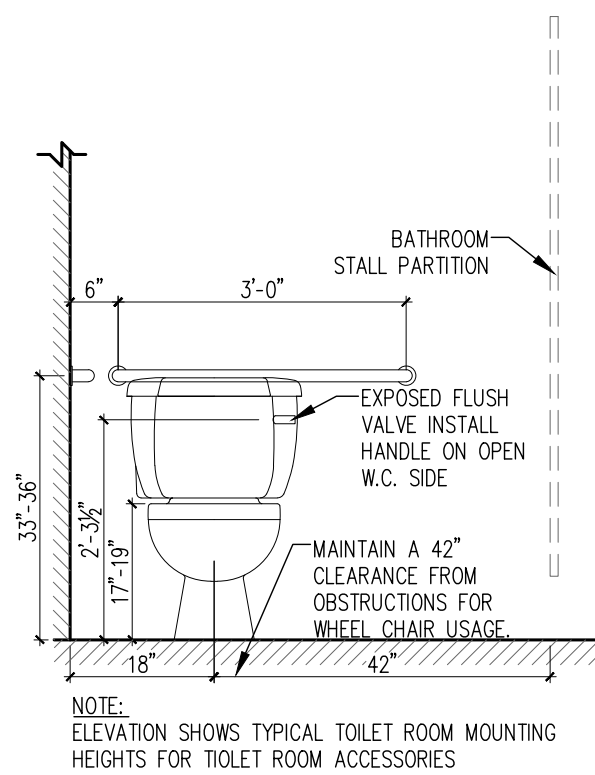
8 MENS ROOM ELEVATION 3
1/2" = 1'-0"



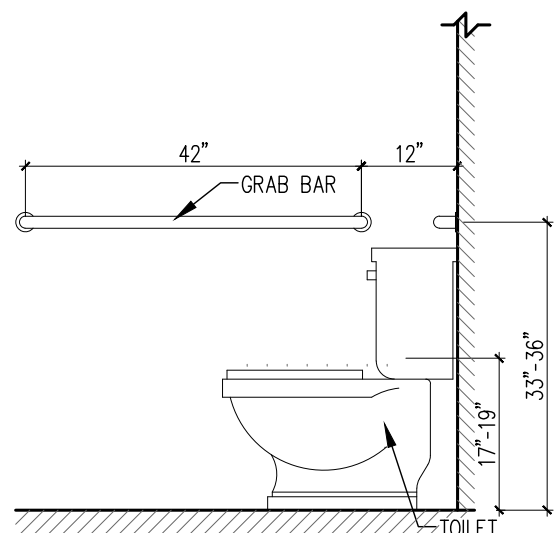
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ELEVATION SHOWN FOR
REFERENCE
7 MENS ROOM ELEVATION 2
1/2" = 1'-0"



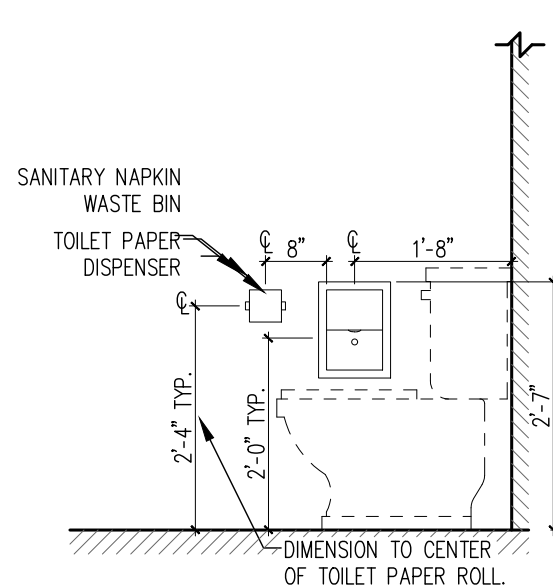
NOT IN SCOPE -
ELEVATION SHOWN FOR
REFERENCE
6 MENS ROOM ELEVATION 1
1/2" = 1'-0"



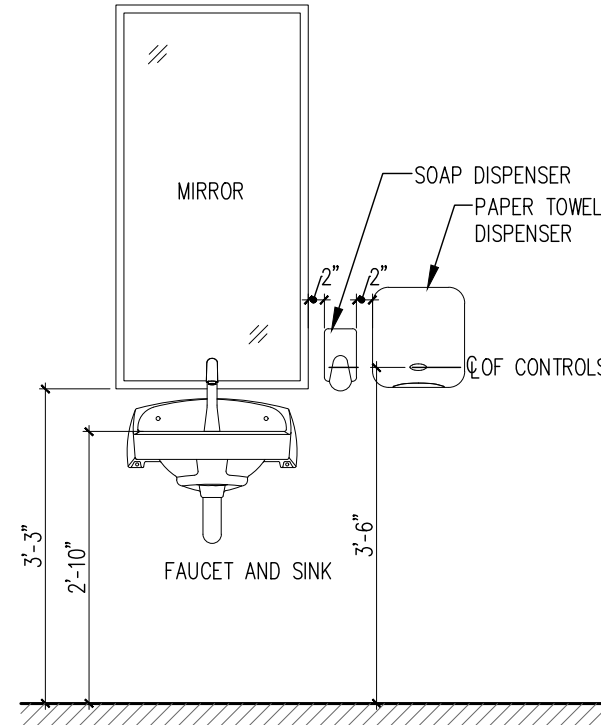
14 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"



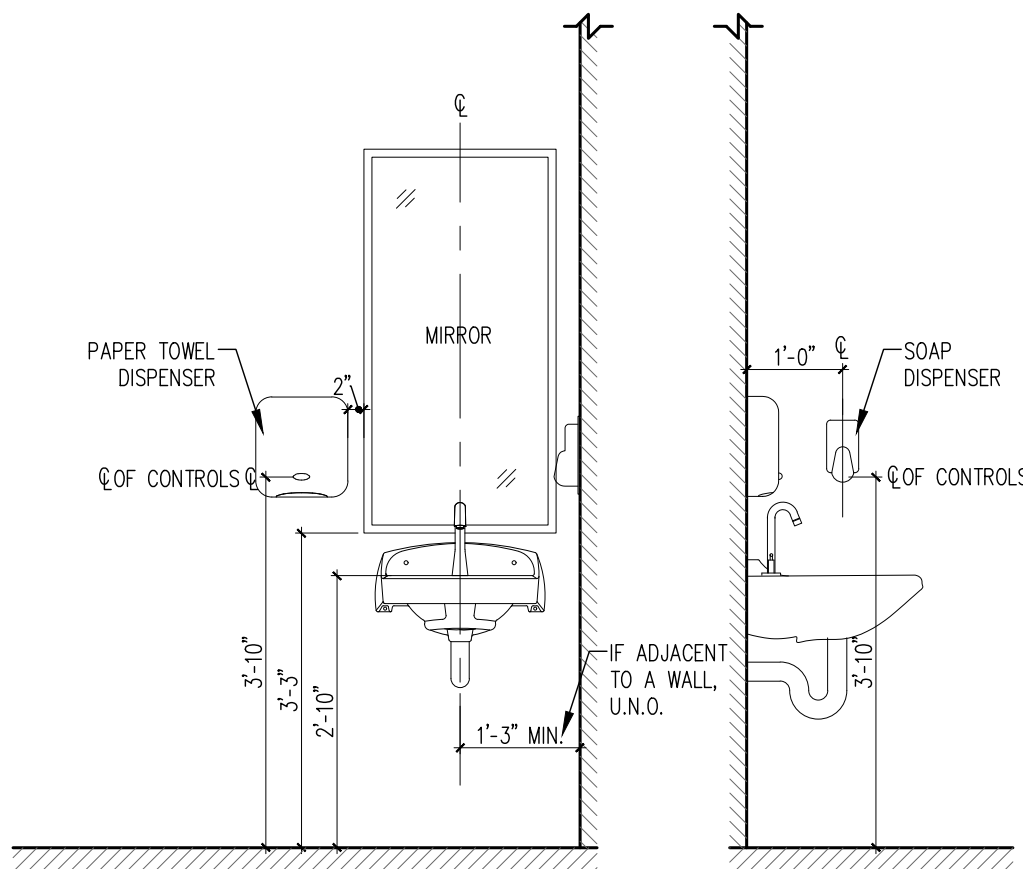
13 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"



12 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"



11 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"



10 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"

DRAWING KEY

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MATZ

COLLABORATIVE ARCHITECTS

50 SPEEN STREET, SUITE 300
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MA, 01746

MCA PROJECT #:

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REVISIONS

No.	Date	Revision

DRAWING

BATHROOM
ELEVATIONS

SCALE:

As Noted

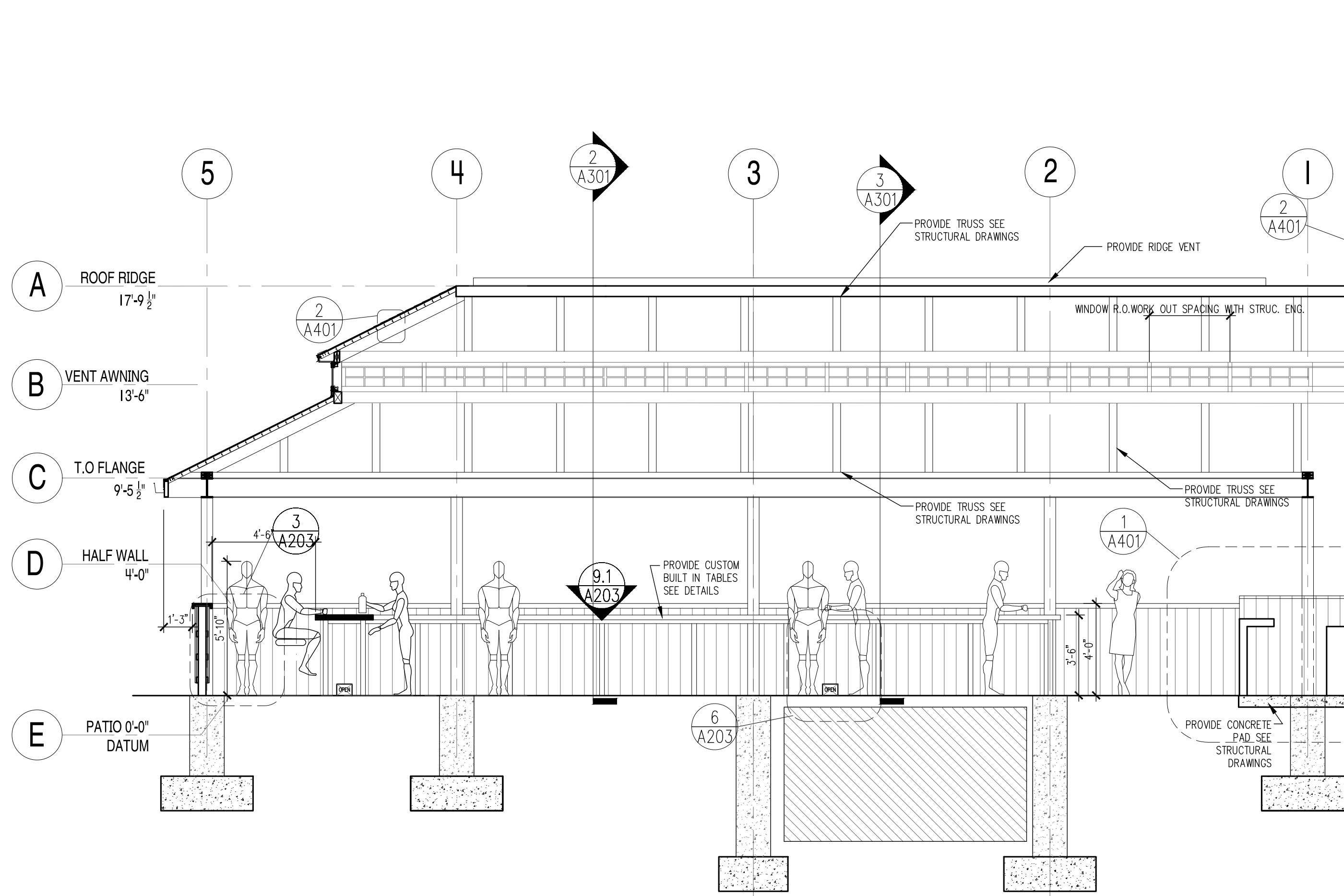
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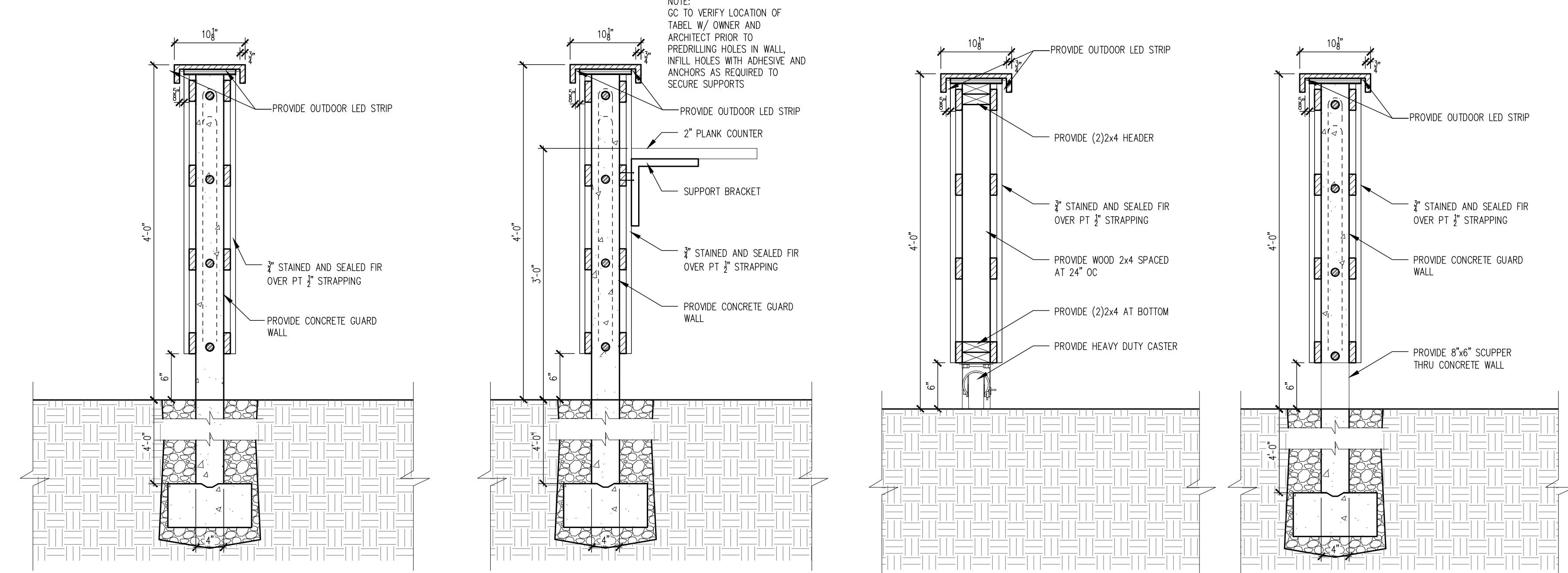
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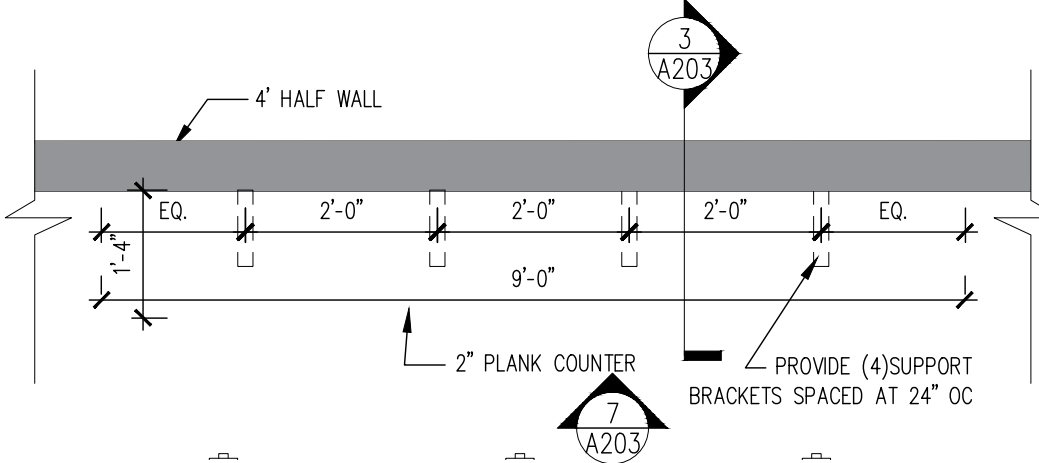
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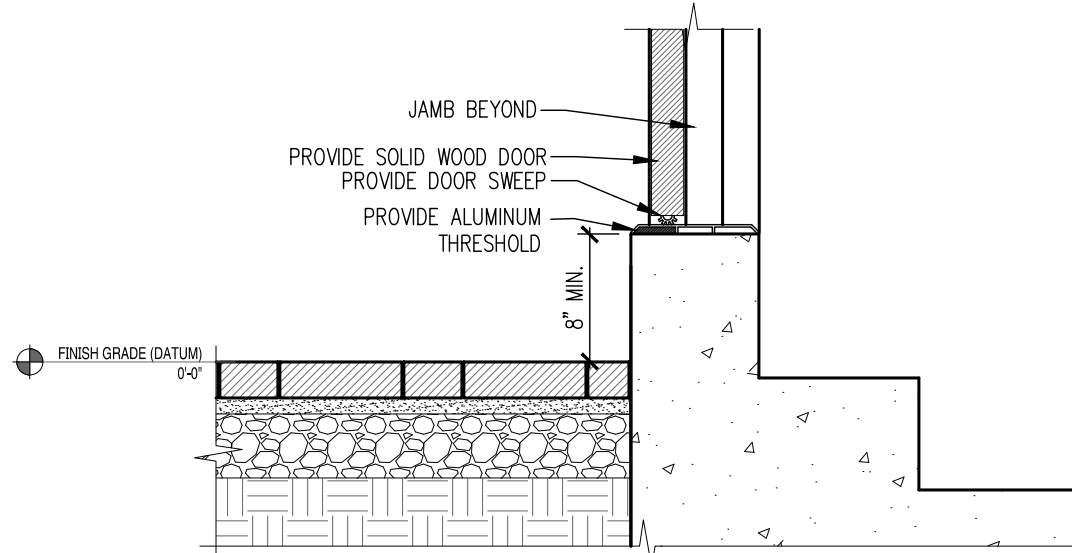
1 EAST SECTION
1/4" = 1'-0"



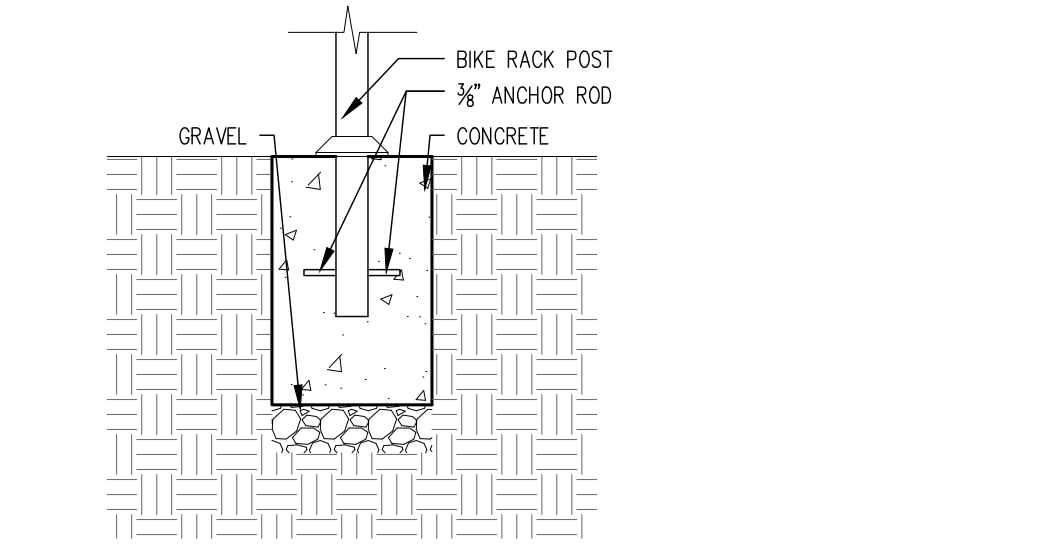
2 TYP. CONT. HALF WALL SECTION 1" = 1'-0"
3 TYP. HALF WALL @ COUNTER 1" = 1'-0"
5 HALF WALL @ GATE 1" = 1'-0"
6 HALF WALL @ SCUPPER 1" = 1'-0"



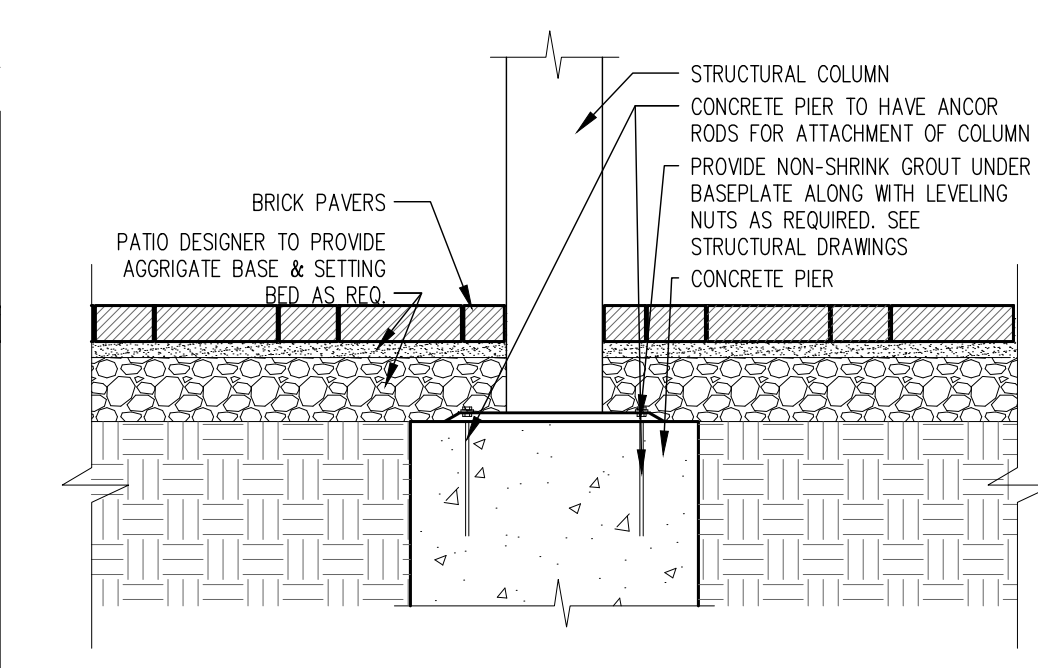
9.1 COUNTER PLAN
1/2" = 1'-0"



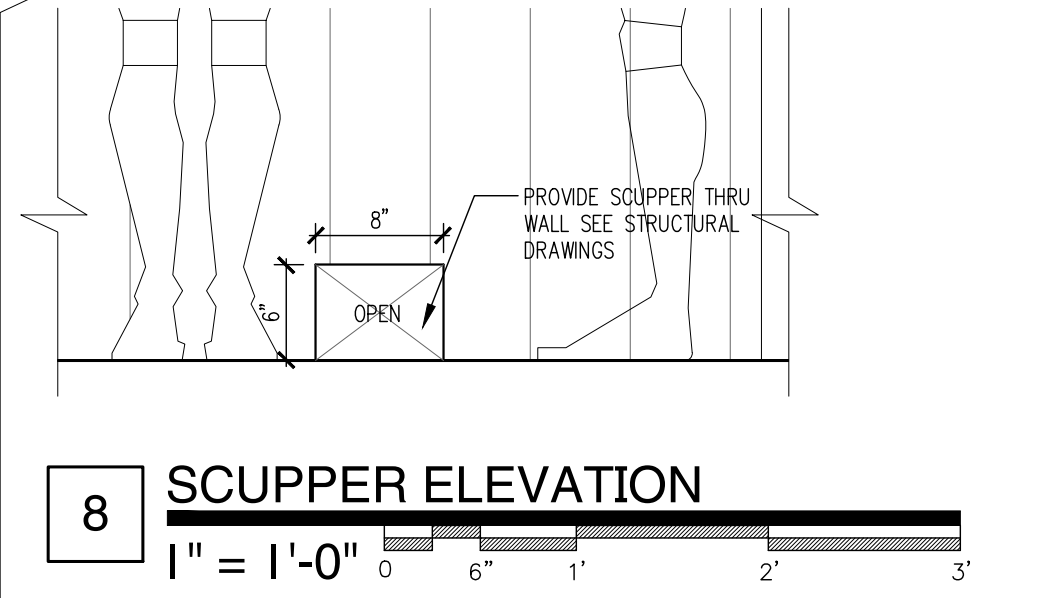
10 BULKHEAD DOOR JAMB DETAIL
1" = 1'-0"



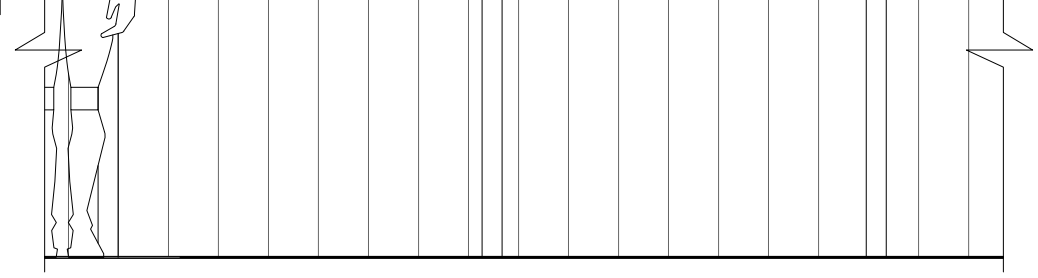
11 FOUNDATION DETAIL AT BIKERACK
1" = 1'-0"



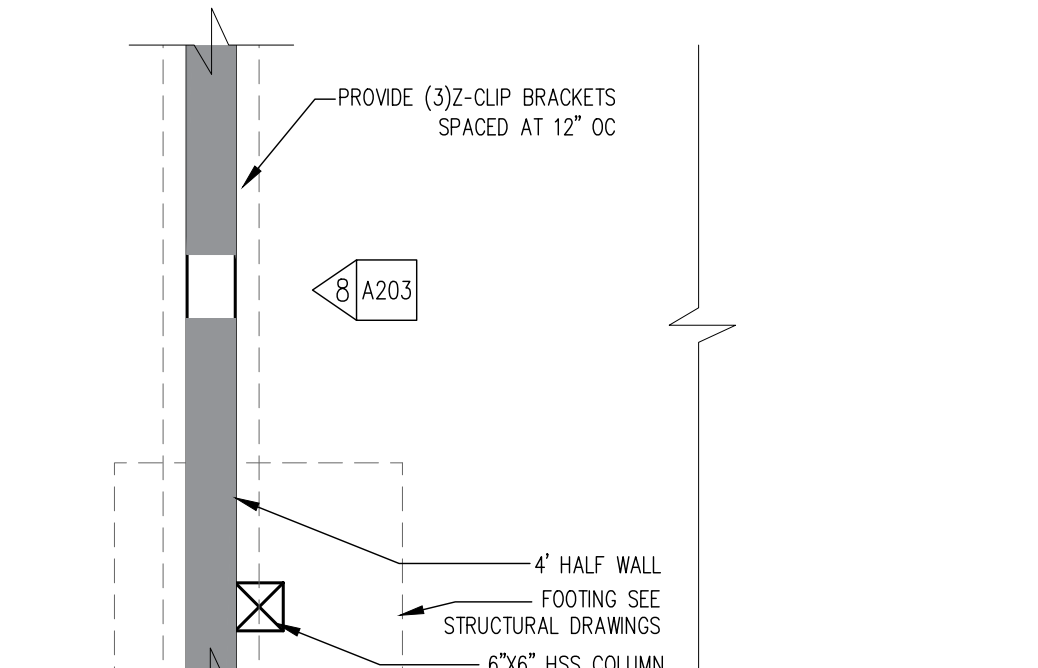
7 COLUMN - PIER CONNECTION
1" = 1'-0"



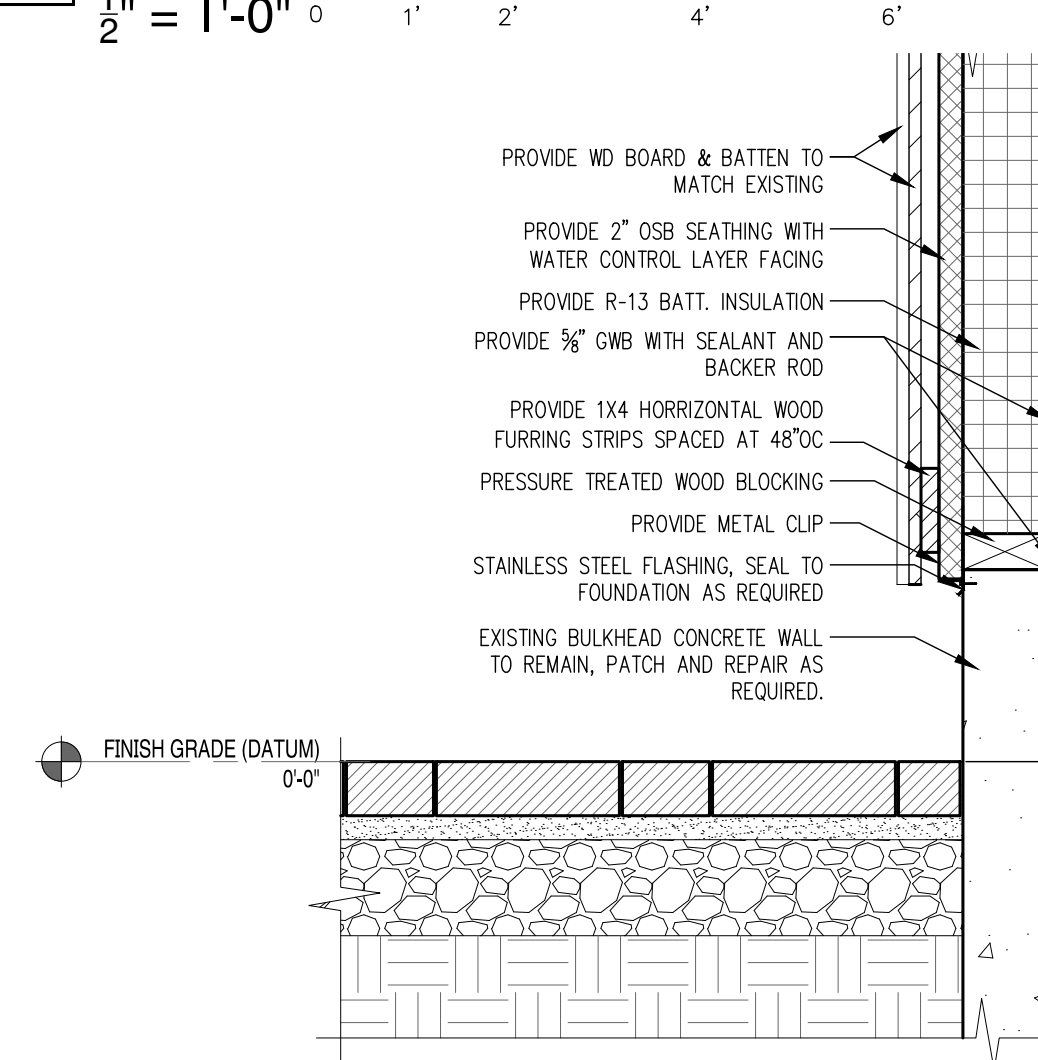
8 SCUPPER ELEVATION
1" = 1'-0"



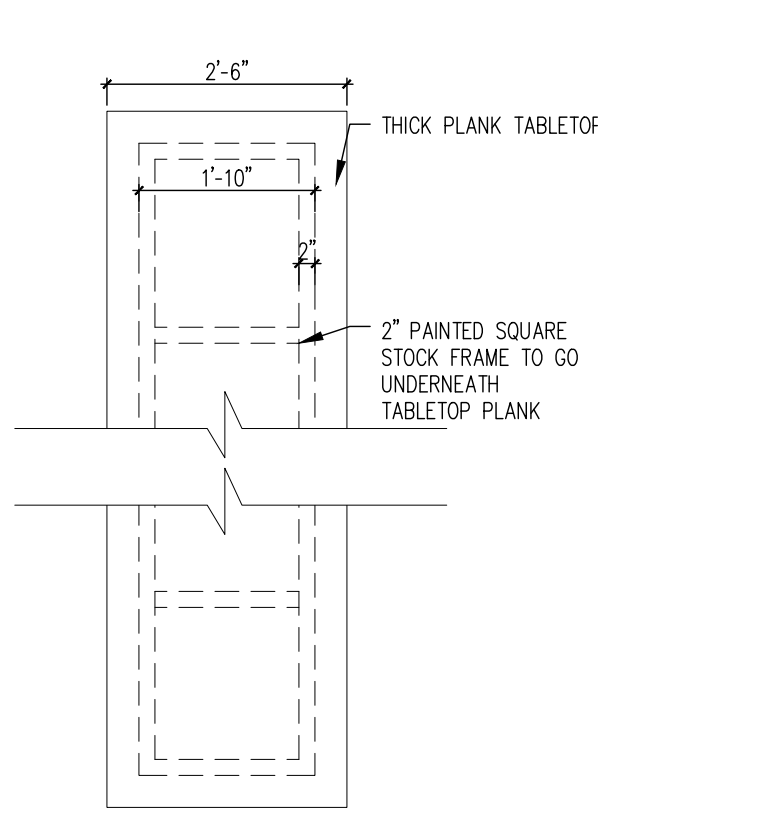
9 COUNTER ELEVATION
1/2" = 1'-0"



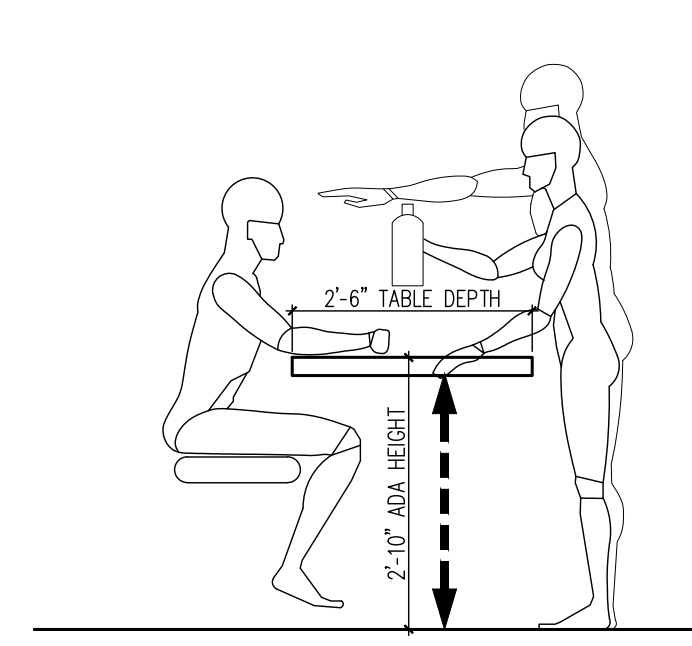
8.1 SCUPPER PLAN
1/2" = 1'-0"



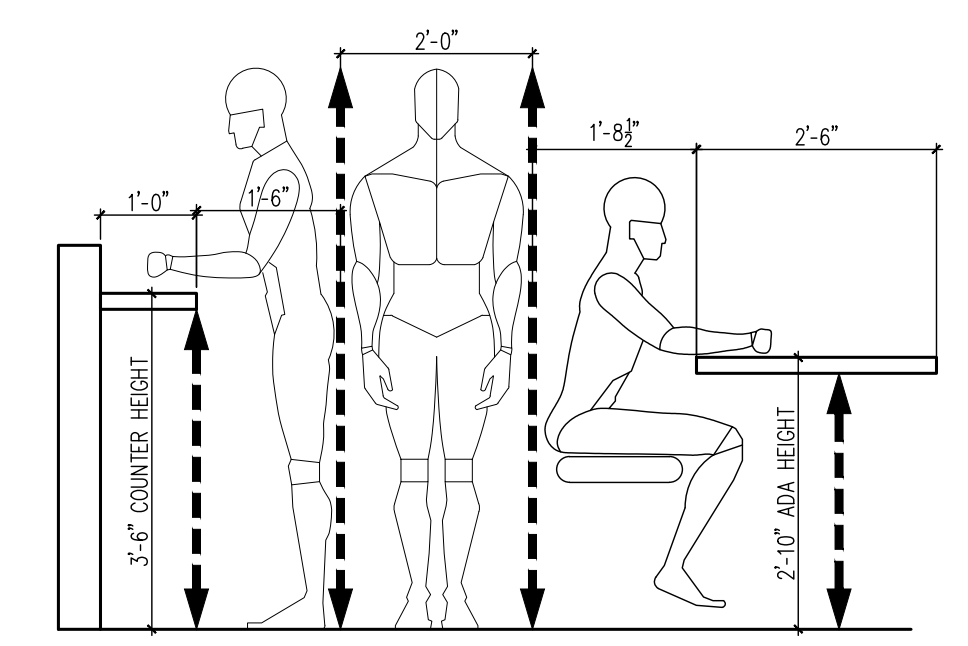
10.1 BULKHEAD DOOR JAMB DETAIL
1/2" = 1'-0"



12 TABLE ASSEMBLY DETAIL
1" = 1'-0"



13 TYP. BAR/SECTION
1" = 1'-0"



14 TYP. CLEARANCES PUBLIC SIDE
1" = 1'-0"

DRAWING KEY

- WALL FINISH SEE TYPES BELOW
- FLOOR FINISH SEE TYPES BELOW
- DOOR TYPE SEE TYPES BELOW
- HARDWARE SET SEE TYPES BELOW
- EXISTING CONCRETE WALL TO REMAIN
- EXISTING HEAVY PLASTER AND LATHE OVER METAL STUD WALL TO REMAIN
- NEW WALL

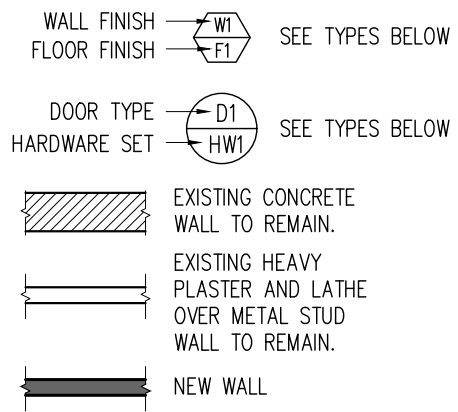
GENERAL NOTES

- VERIFY DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MARK OUT ENTIRE PROJECT ON SITE AND VERIFY CLEARANCES AND SETBACKS AT PROPERTY LINE AND EXISTING CONSTRUCTION TO REMAIN PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY.
- THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE, FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE ALL CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
- THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
- FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING AREAS ADJACENT TO WORK BEING PERFORMED DAMAGED DURING CONSTRUCTION. MAKE CLEAN CUTS, PATCH AND REPAIR AT EDGE CONDITIONS OF EXISTING TO REMAIN AND NEW WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TO REMAIN DURING CONSTRUCTION. EXISTING LANDSCAPING, EXISTING BUILDINGS AND ADJACENT WORK SHALL BE PROTECTED AS REQUIRED DURING ALL PHASES OF CONSTRUCTION. NO ALLOWANCES WILL BE GIVEN FOR DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING TO REMAIN.
- VERIFY ALL EXISTING SUB-SURFACE CONDITIONS PRIOR TO CONSTRUCTION. LOCATE AND MARK ALL EXISTING SUBSURFACE SEPTIC, UTILITY, AND DRAINAGE SERVICES AND COORDINATE LOCATIONS WITH PROPOSED CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY.

TRUSS NOTES

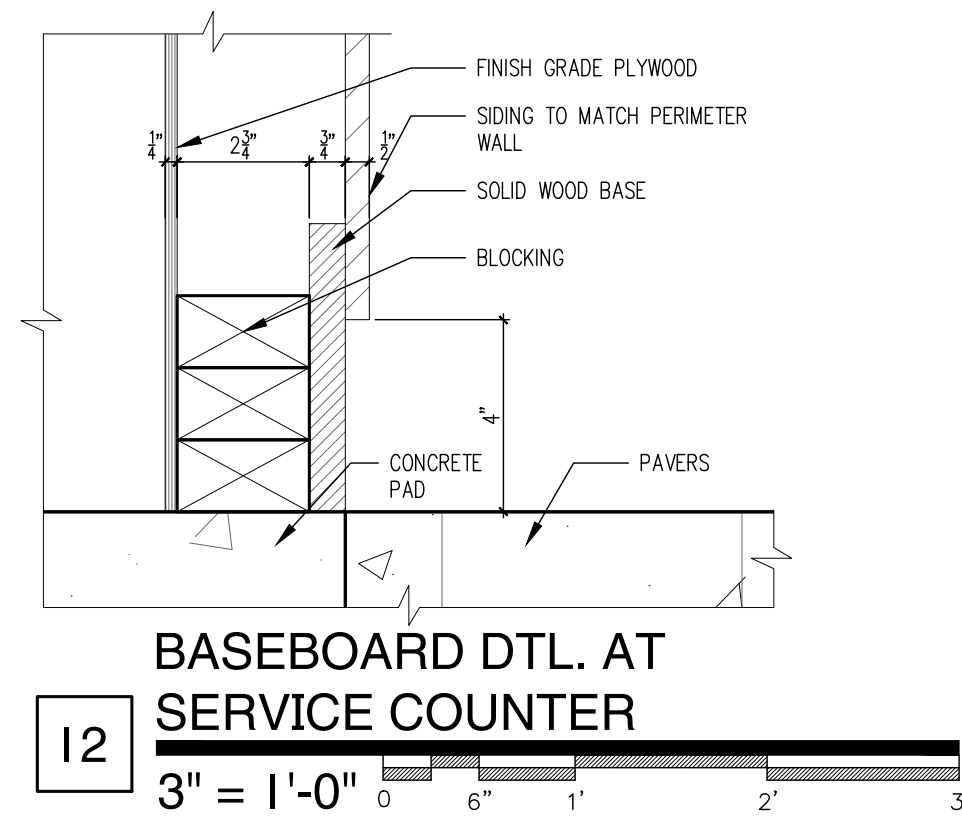
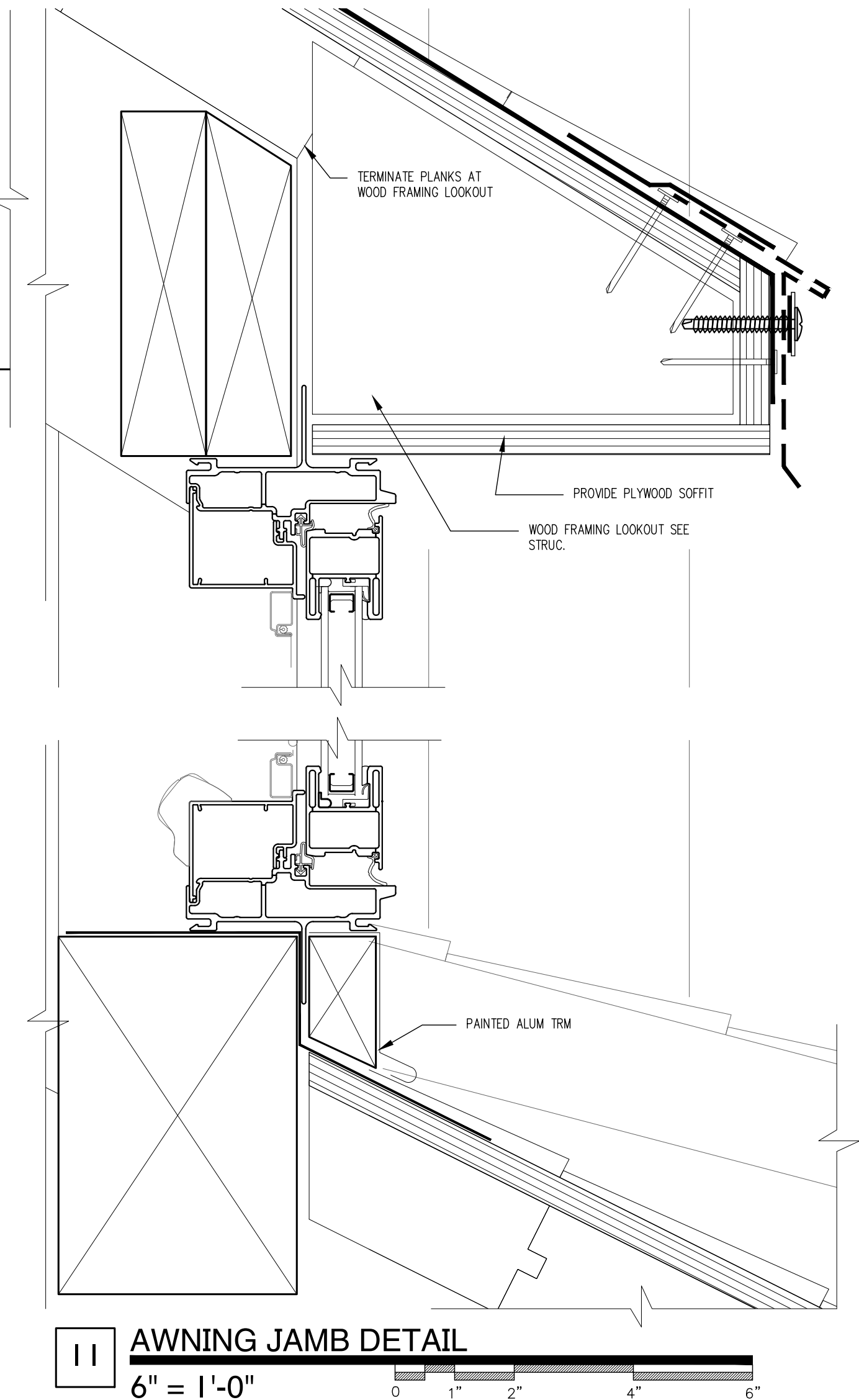
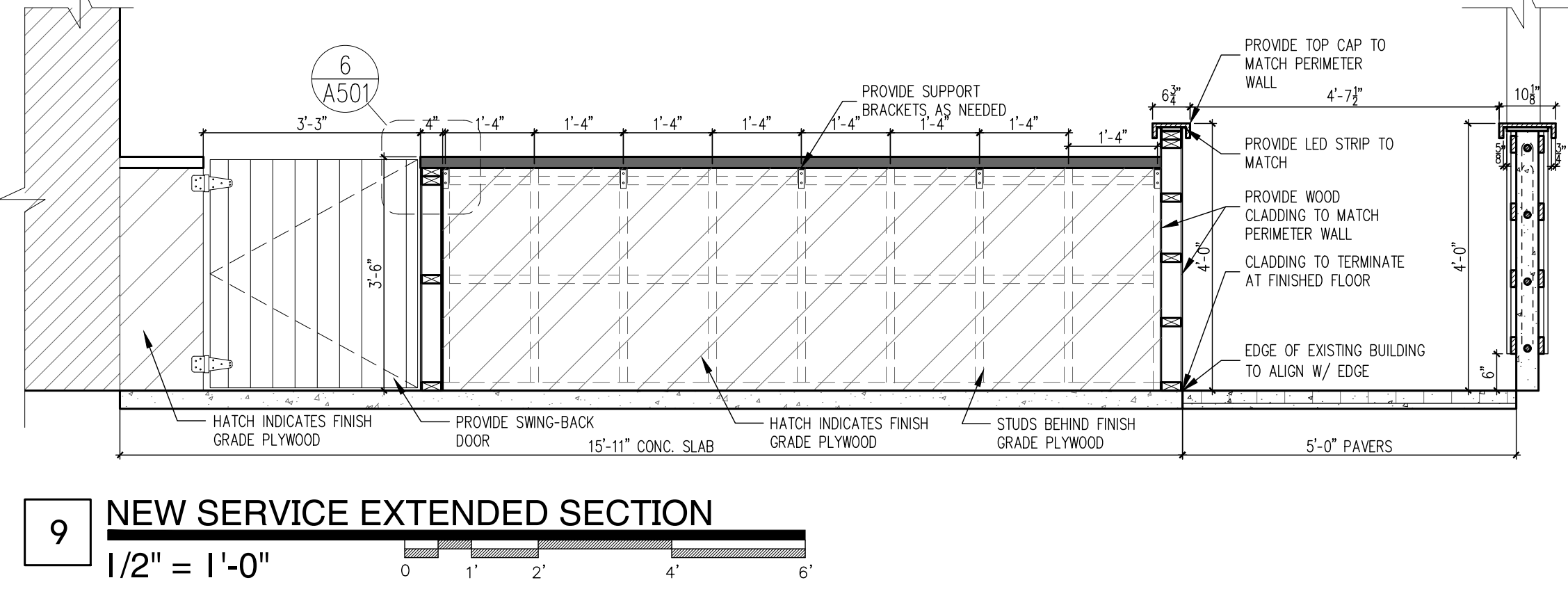
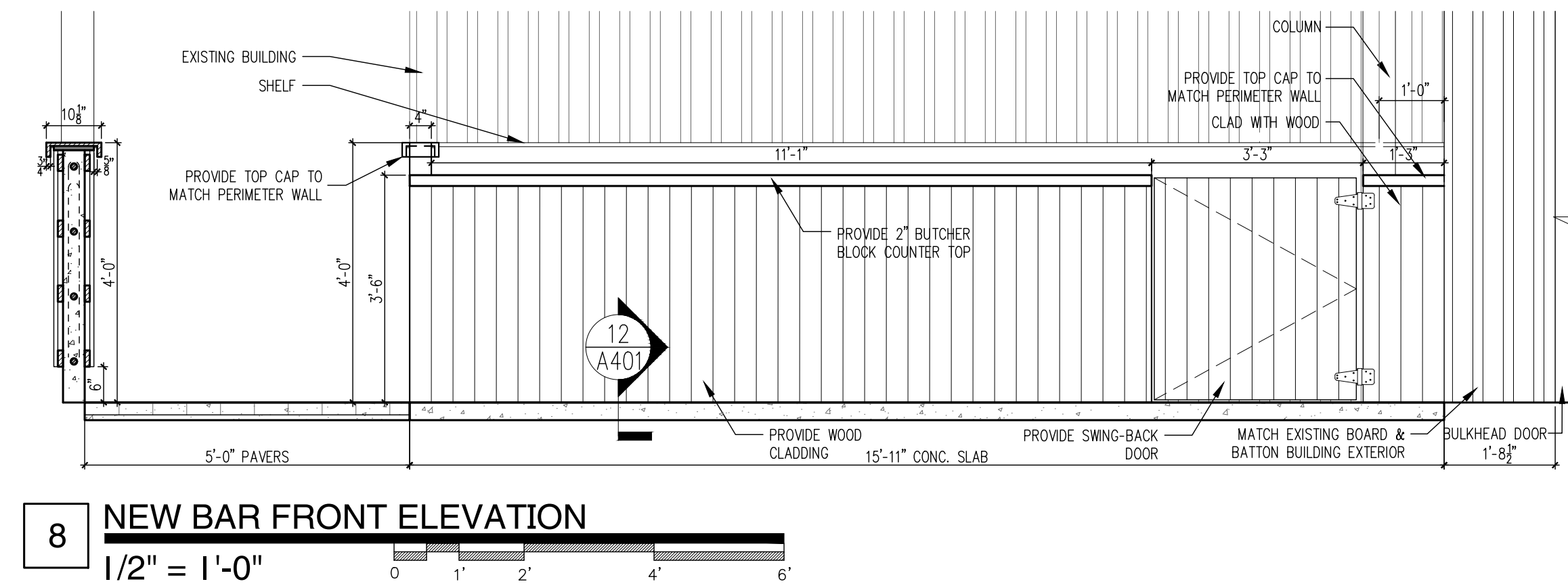
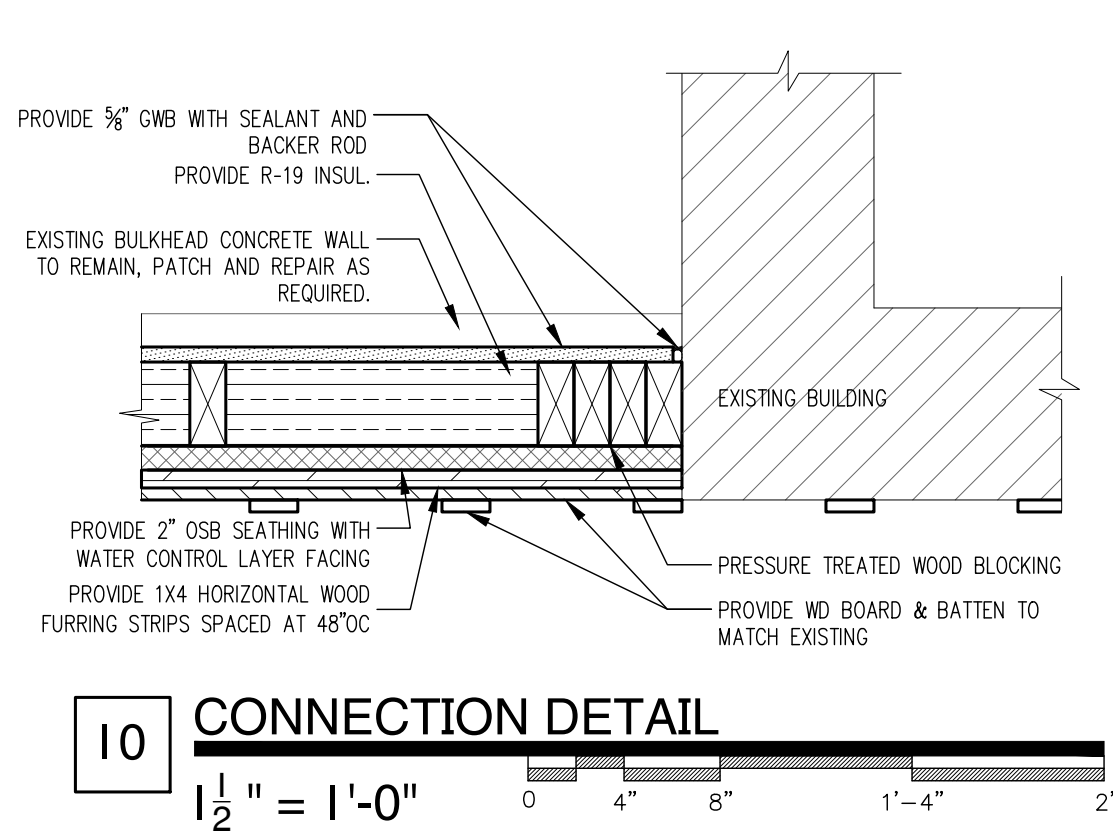
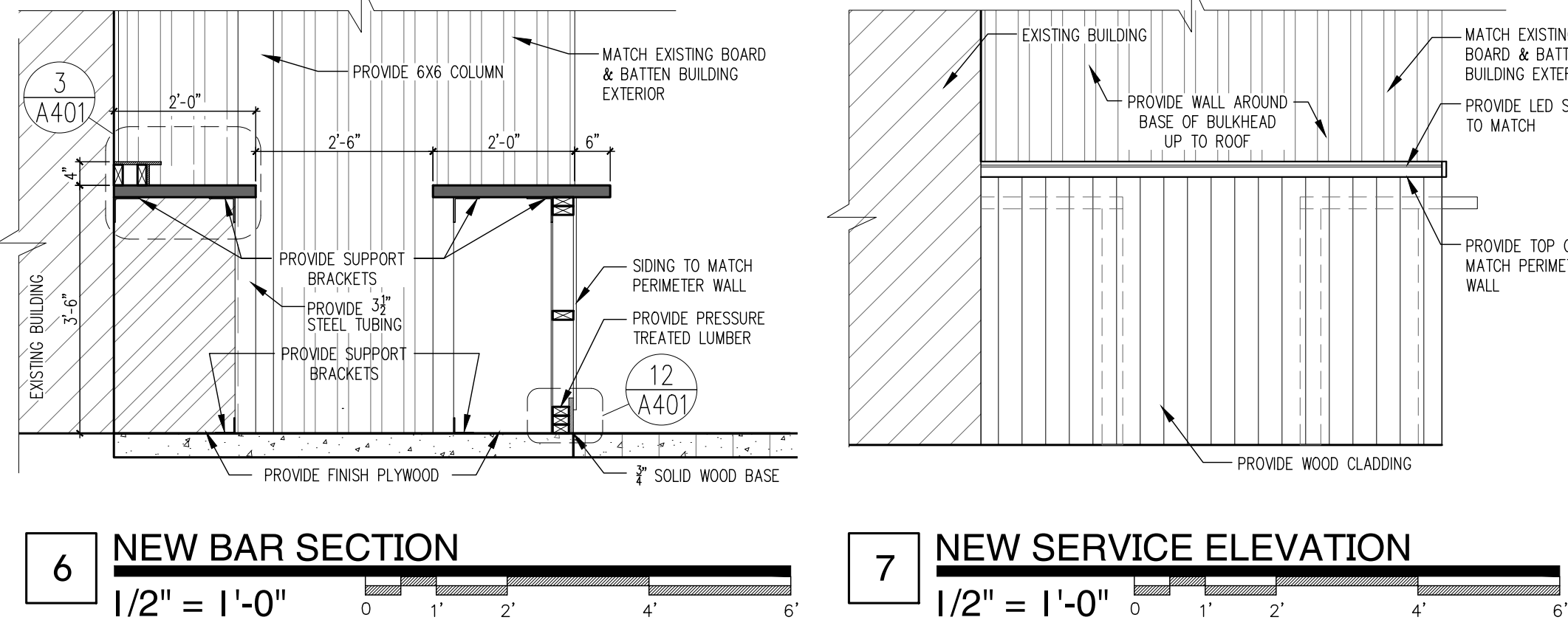
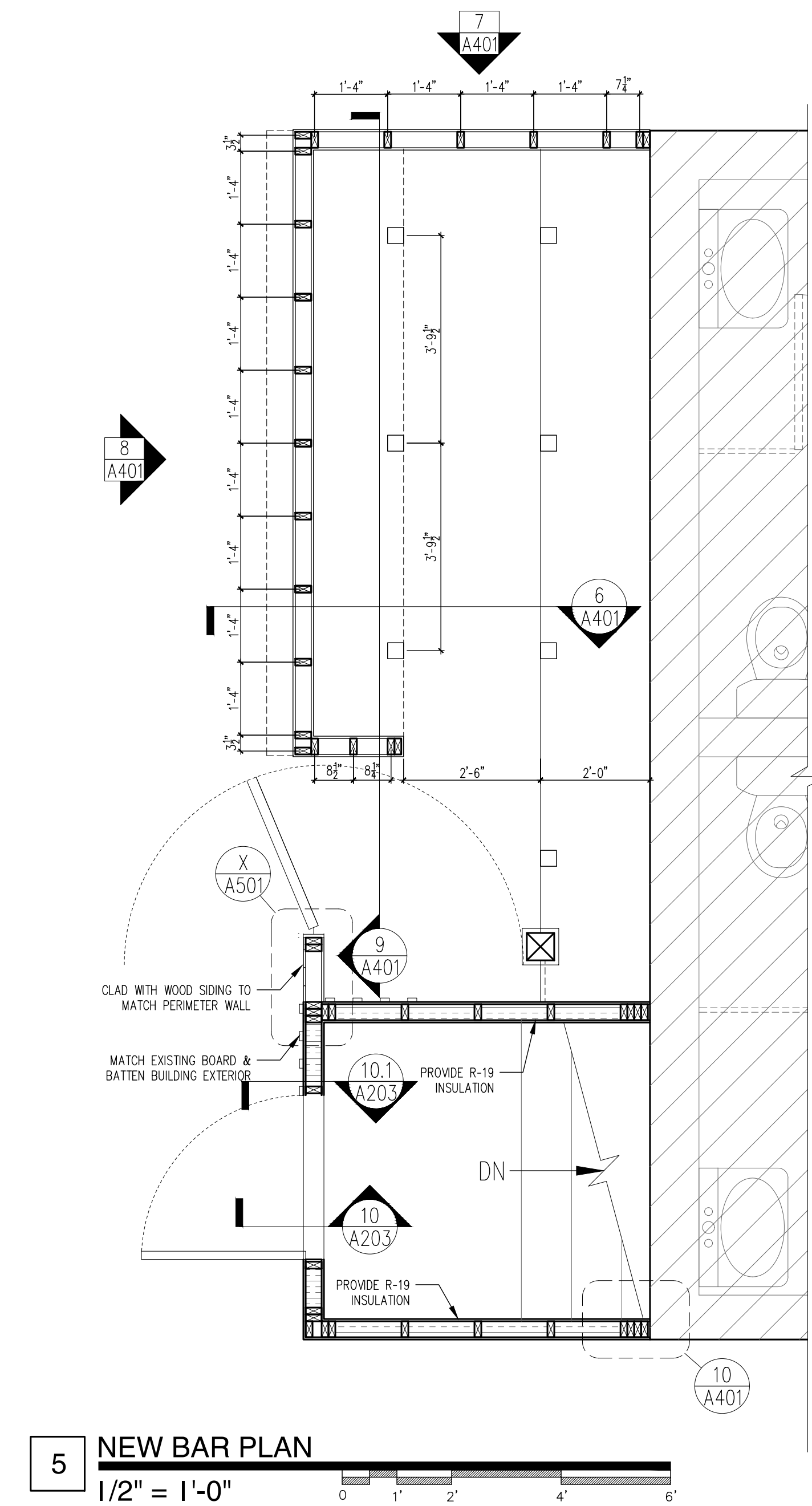
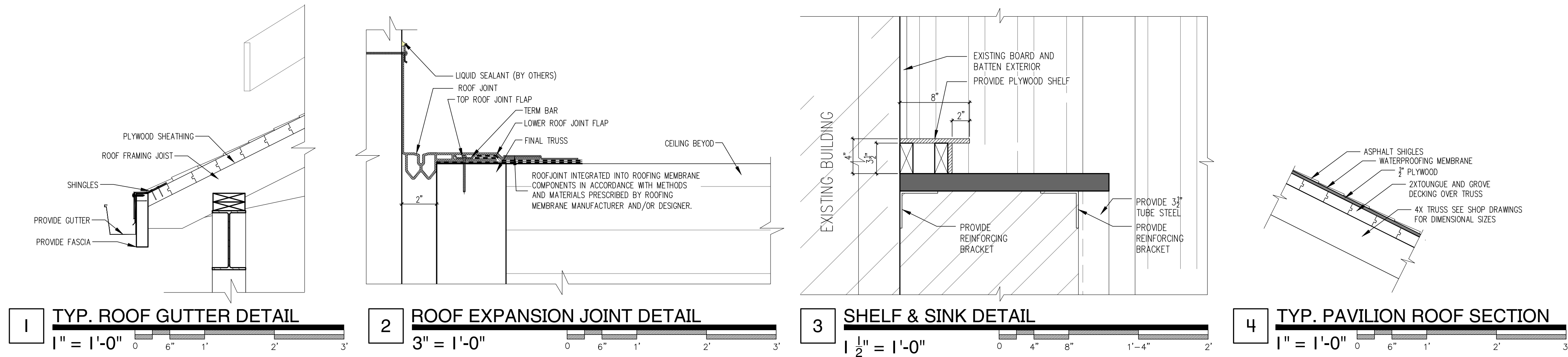
- COORDINATE TRUSS LAYOUT ON DRAWINGS WITH TRUSS MANUFACTURER PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY VARIATION FROM DESIGN DOCUMENTS.
- COORDINATE DELIVERY, CRANE PICK, OR OTHER DISRUPTIONS WITH LOCAL AUTHORITIES PRIOR TO WORK. SEE SITE COORDINATION NOTES.
- COORDINATE FINISH/STAIN COLOR WITH HALF HEIGHT WALL. PROVIDE FINISH SAMPLES FOR MATCH REVIEW BY OWNER/ARCHITECT PRIOR TO FABRICATION.
- TRUSSES SHALL BE PROVIDED WITH CLEAR COAT FINISH AND APPROPRIATE STAIN TO MATCH HALF HEIGHT WALLS.
- METAL PLATES, BRACKETS AND FASTENERS SHALL BE PAINTED BLACK.

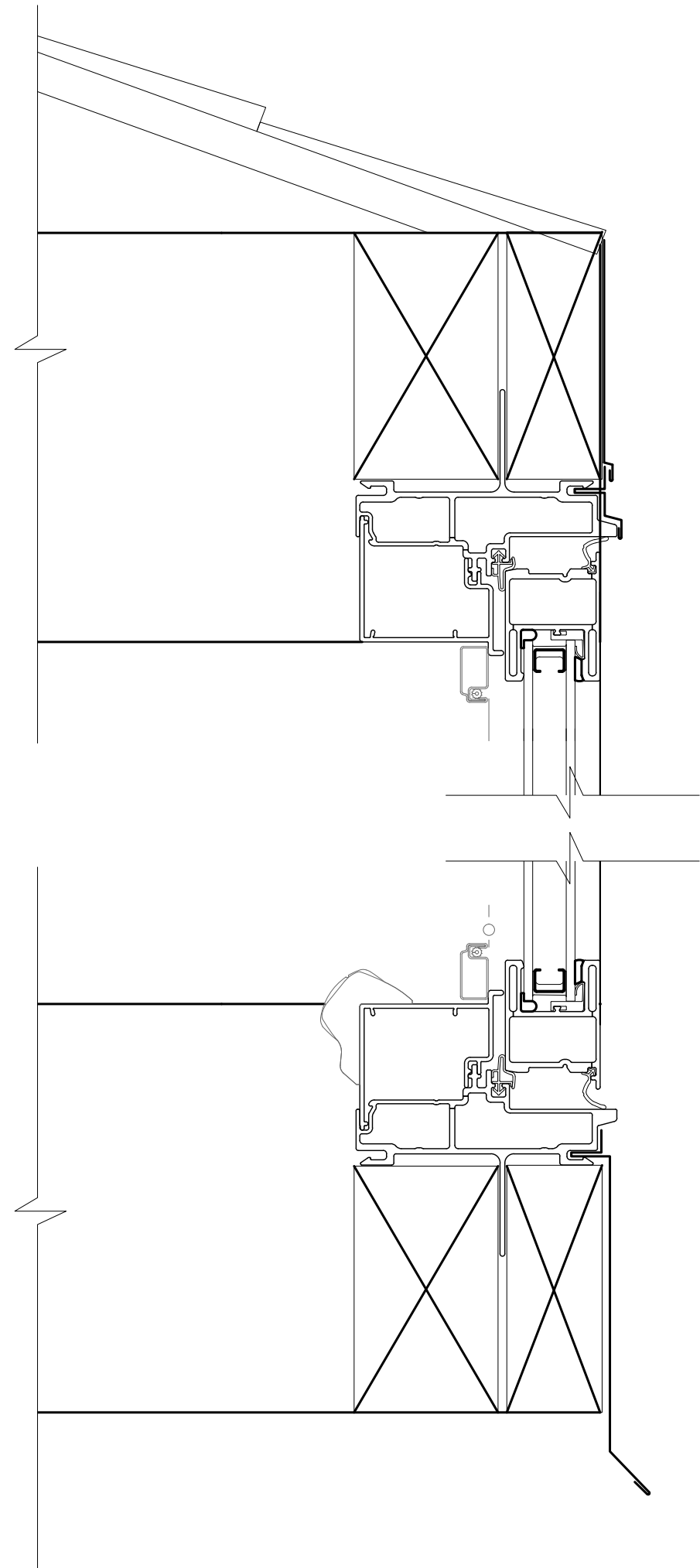
DRAWING KEY



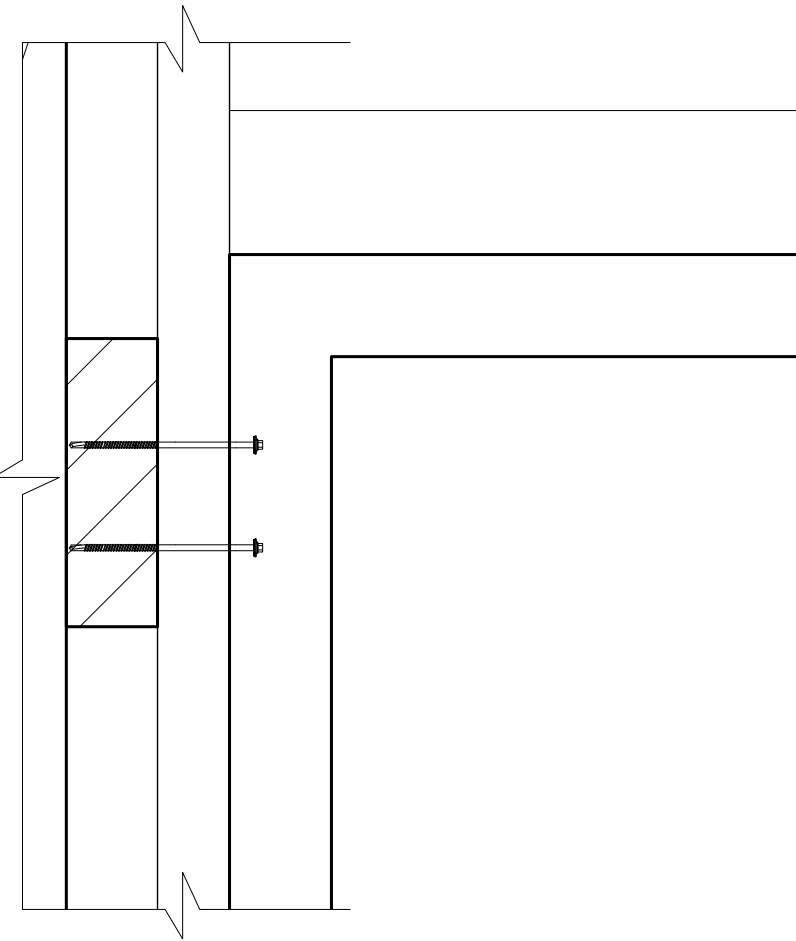
GENERAL NOTES

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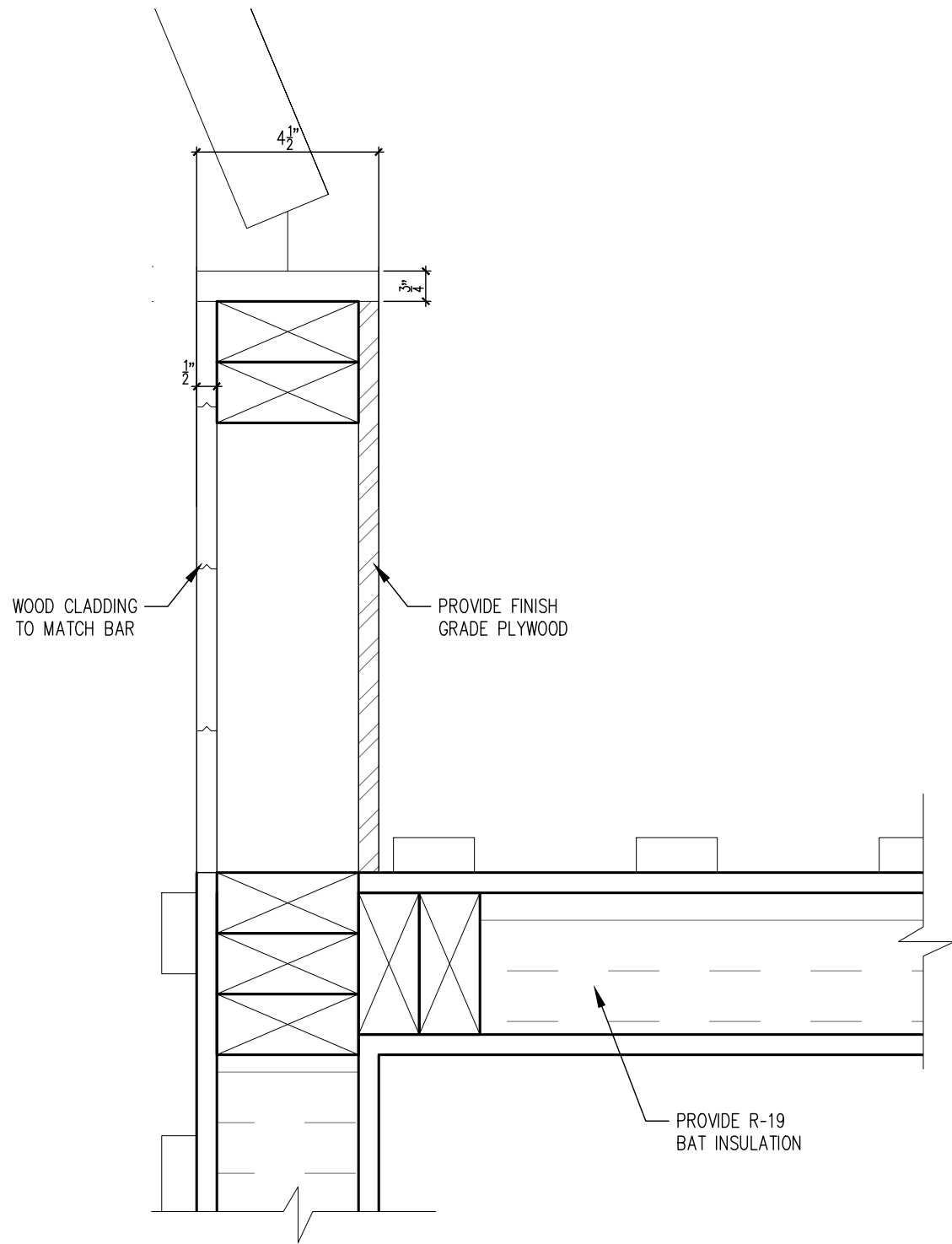




1 AWWING JAMB DETAIL
6" = 1'-0"



3 TYP. STEEL BRACKET DETAIL
6" = 1'-0"



7 BAR CORNER DETAIL
1/2" = 1'-0"



REVISIONS		
No.	Date	Revision