

DEFINITIVE OPEN SPACE SUBDIVISION "BONNEY DRIVE EXTENSION" A 3 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION HOLLISTON, MASSACHUSETTS

DATE: AUG. 29, 2023

ASSESSOR'S REFERENCE:
MAP 7, BLOCK 4, PARCEL 55.0

DEED REFERENCE:
MIDDLESEX COUNTY REGISTRY OF DEEDS
BK. 70309, Pg. 338

PLAN REFERENCE:
MIDDLESEX COUNTY REGISTRY OF DEEDS
1. PLAN No. 753 OF 2015
2. PLAN No. 834 OF 2012
3. PLAN No. 142 OF 2001, BK. 32381, Pg. 140
4. PLAN No. 402 OF 1998, BK. 28461, Pg. 37

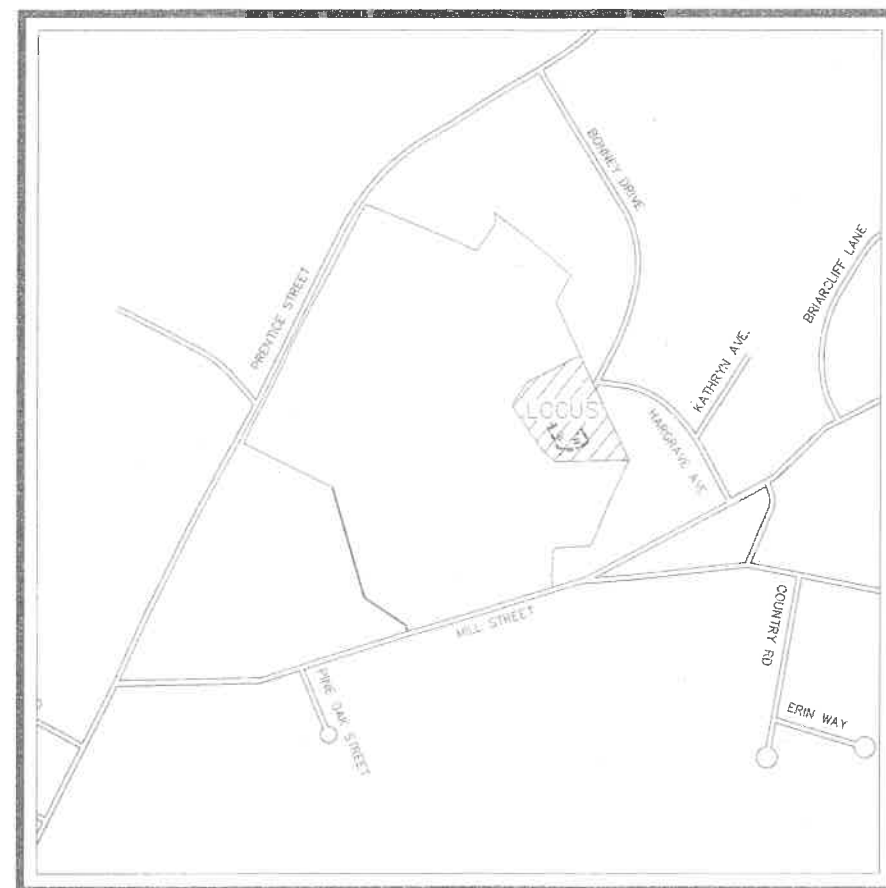
OWNER OF RECORD:
THOMAS MURCH et.al. TRUSTEE
MURCH PRENTICE REALTY TRUST
5855 LYMAN ROAD
TURIN, NY 13473

ZONING CLASSIFICATION:
AG-RES DIST B
GROUNDWATER PROTECTION DISTRICT - ZONE II
LOT AREA: 40,000 S.F.
FRONTAGE: 200 FT.
DEPTH: 180 FT.
SETBACKS:
FRONT: 40'
SIDE: 30'
REAR: 40'

OPEN SPACE INTENSITY REGULATIONS:
AG-RES DIST B
LOT AREA: 15,000 S.F.
FRONTAGE: 50 FT.
DEPTH: N.A.
LOT WIDTH: N.A.
SETBACKS:
FRONT: 30'
SIDE: 10'
REAR: 10'

OPEN SPACE REQUIREMENTS:

TOTAL LAND AREA: 337,650 s.f. (7.75 Acres)
OPEN SPACE AREA REQUIRED: (50%) 168,825 s.f. (3.9 Acres)
OPEN SPACE AREA PROVIDED:
170,851 s.f. (3.92 Acres)
UPLAND AREA: 88,450 S.F. (50.6%)



LOCUS MAP
SCALE: 1"=800'

I CERTIFY THAT THIS PLAN CONFORMS TO THE
RULES & REGULATIONS OF THE REGISTER OF DEEDS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH
THE PROCEDURAL AND TECHNICAL STANDARDS FOR
THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.



APPROVED BY
HOLLISTON PLANNING BOARD

APPROVED BY:
ENDORSED BY:

APPROVED _____ SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____ DATED _____
AND TO BE RECORDED HERewith.

I, TOWN CLERK OF THE TOWN OF HOLLISTON,
RECEIVED & RECORDED FROM THE PLANNING
BOARD APPROVAL OF THIS PLAN AND NO
APPEAL HAS BEEN TAKEN FOR TWENTY DAYS
NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

SHEET INDEX

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 OPEN SPACE LOT LAYOUT
- 4 CONVENTIONAL SUBDIVISION
- 5 GRADING & DRAINAGE
- 6 PLAN & PROFILE
- 7 EROSION CONTROL PLAN
- 8 DRAINAGE DETAILS
- 9 DETAILS
- 10 DETAILS

OWNER/APPLICANT:
THOMAS MURCH et.al. TRUSTEE
MURCH PRENTICE REALTY TRUST
5855 LYMAN ROAD
TURIN, NY 13473

PREPARED BY:
GLM ENGINEERING
CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

JOB No.	7701DEF
SHEET:	1 of 10
PLAN #:	27,404

REGISTRY USE ONLY

ASSESSOR'S REFERENCE:
MAP 7, BLOCK 4, PARCEL 55.0

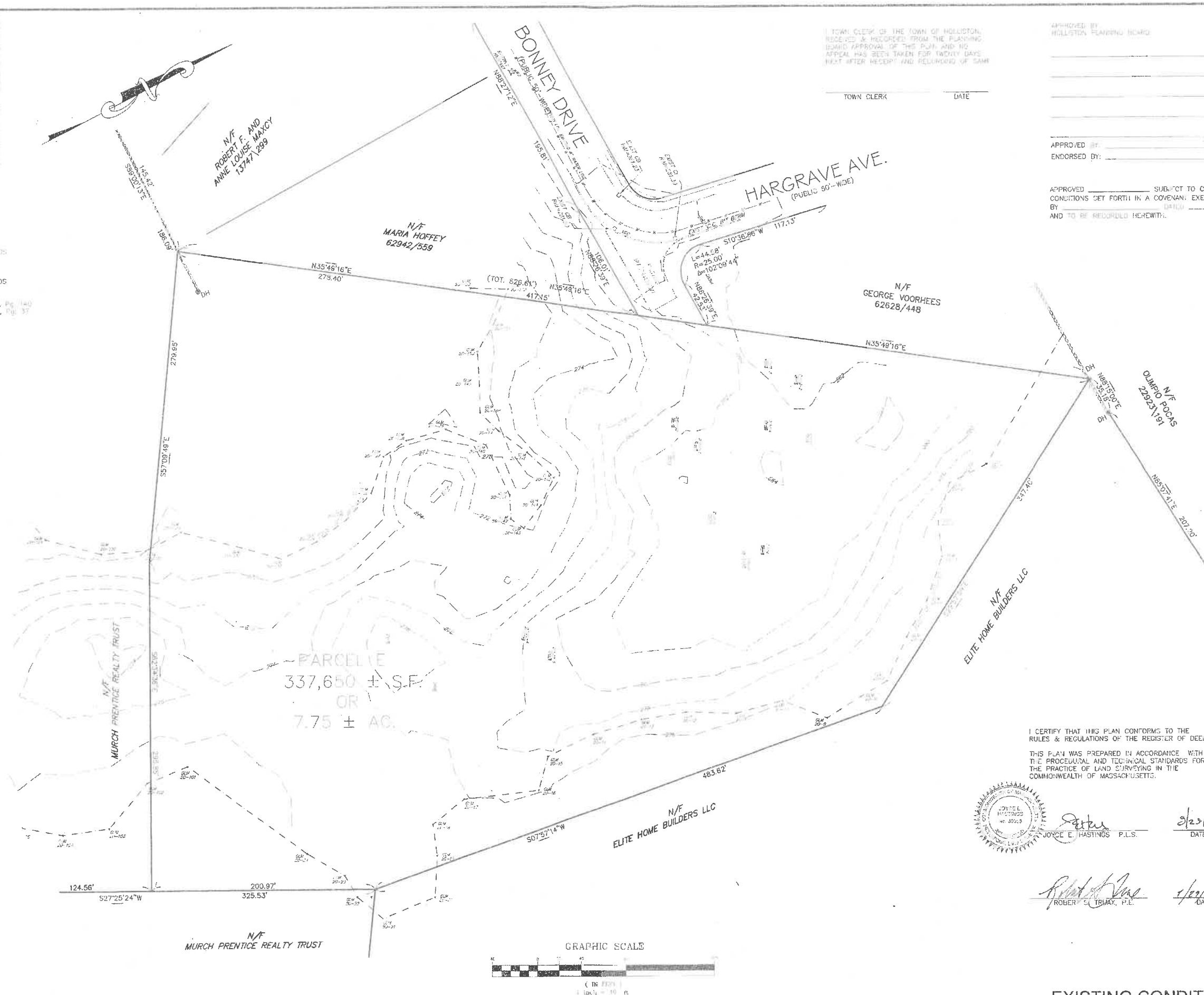
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5855 LYMAN ROAD
TURIN, NY 13473

ZONING CLASSIFICATION:
AG-RES DIST B
LOT AREA: 40,000 S.F.
FRONTAGE: 200 FT.
DEPTH: 180 FT.
SETBACKS:
FRONT: 40'
SIDE: 30'
REAR: 40'

OPEN SPACE INTENSITY REGULATIONS:
AG-RES DIST B
LOT AREA: 40,000 S.F.
FRONTAGE: 50 FT.
DEPTH: N.A.
LOT WIDTH: N.A.
SETBACKS:
FRONT: 30'
SIDE: 10'
REAR: 10'



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HOLLISTON PLANNING BOARD

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COMMONWEALTH OF MASSACHUSETTS.



JOYCE E. HASTINGS P.L.S.

3/23/23
DATE

ROBERT C. TRUAX, P.E.

1/22/22
DATE

EXISTING CONDITIONS

REVISIONS
DESCRIPTION

DATE
No.

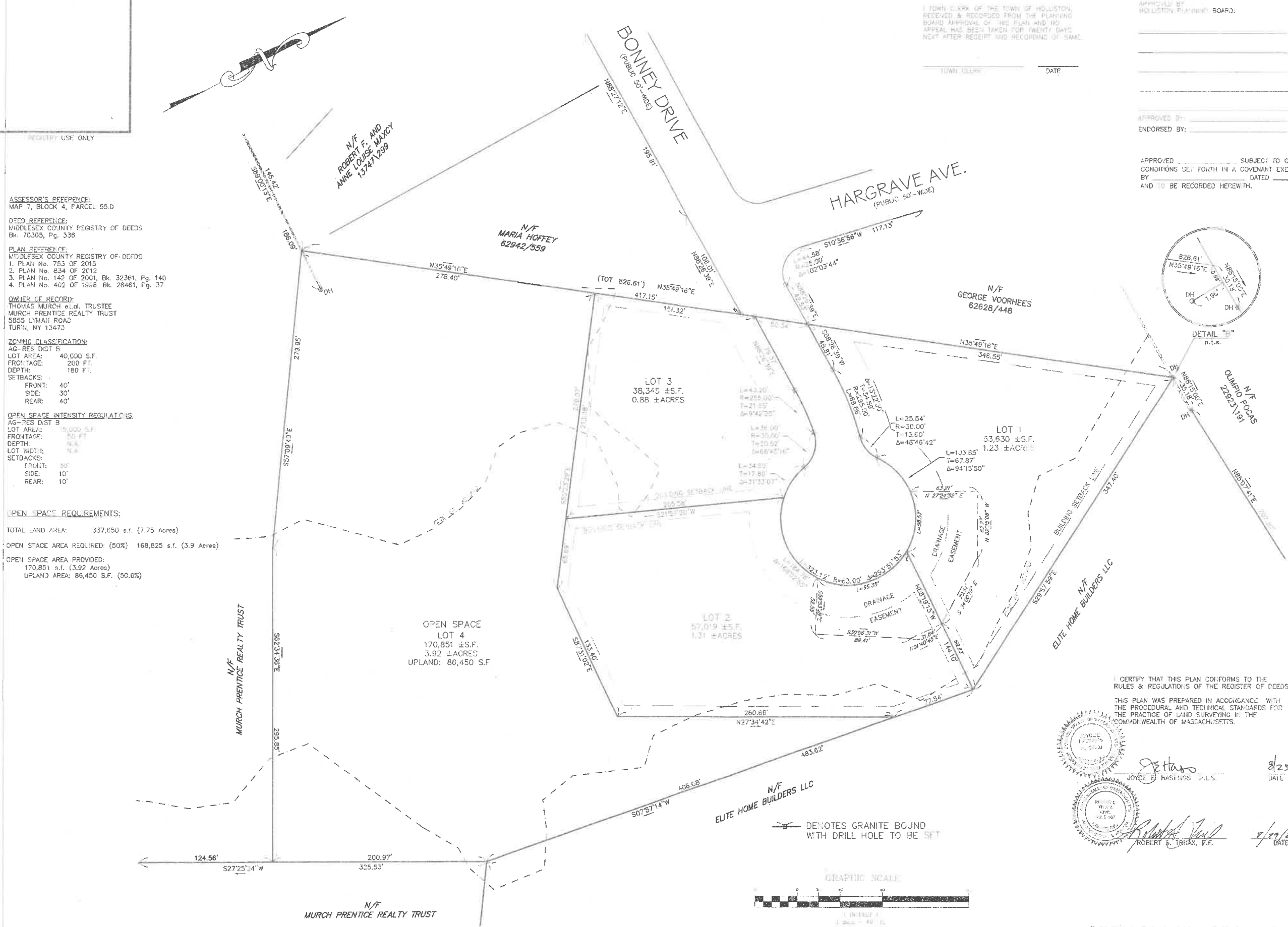


DEFINITIVE OPEN SPACE SUBDIVISION
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A 3 LOT SINGLE FAMILY SUBDIVISION
HOLLISTON, MASSACHUSETTS

PREPARED FOR: TRUSTEE
THOMAS MURCH et al., TRUSTEE
MURCH PRENTICE REALTY TRUST
5855 LYMAN ROAD
TURIN, NY 13473

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No. 7701DEF
DATE: AUG. 29, 2023
SCALE: 1"=40'
SHEET: 2 of 10
PLAN #: 27,404



ASSESSOR'S REFERENCE:
MAP 7, BLOCK 4, PARCEL 55.0

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OWNER OF RECORD:
THOMAS MURCH et al., TRUSTEE
MURCH PRENTICE REALTY TRUST
5855 LYMAN ROAD
TURIN, NY 13473

ZONING CLASSIFICATION:
AG-RES DIST B
LOT AREA: 40,000 S.F.
FRONTAGE: 200 FT.
DEPTH: 180 FT.
SETBACKS:
FRONT: 40'
SIDE: 30'
REAR: 40'

OPEN SPACE INTENSITY REGULATIONS:
AG-RES DIST B
LOT AREA: 15,000 S.F.
FRONTAGE: 50 FT.
DEPTH: N/A
LOT WIDTH: N/A
SETBACKS:
FRONT: 50'
SIDE: 10'
REAR: 10'

OPEN SPACE REQUIREMENTS:
TOTAL LAND AREA: 337,650 s.f. (7.75 Acres)
OPEN SPACE AREA REQUIRED: (50%) 168,825 s.f. (3.9 Acres)
OPEN SPACE AREA PROVIDED:
170,851 s.f. (3.92 Acres)
UPLAND AREA: 86,450 S.F. (50.6%)

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HOLLISTON PLANNING BOARD:

APPROVED BY: _____
ENDORSED BY: _____

APPROVED _____ SUBJECT TO COVENANT
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DETAIL "B"
n.l.s.

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A 3 LOT SINGLE FAMILY SUBDIVISION
HOLLISTON, MASSACHUSETTS

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JOYCE E. HASTINGS, P.L.S.

8/29/23
DATE



ROBERT E. TRIAX, P.E.

8/29/25
DATE

—•— DENOTES GRANITE BOUND
WITH DRILL HOLE TO BE SET



OPEN SPACE LOT LAYOUT

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	7701DEF
DATE:	AUG. 29, 2023
SCALE:	1"=60'
SHEET:	3 of 10
PLAN #:	27,404

APPROVED BY: _____
HALLSTON PLANNING BOARD

APPROVED BY: _____
ENDORSED BY: _____

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3. PLAN No. 142 OF 2001, Bk. 32361, Pg. 140
4. PLAN No. 402 OF 1998, Bk. 28451, Pg. 37

OWNER OF RECORD:
THOMAS MURCH et.al. TRUSTEE
MURCH PRENTICE REALTY TRUST
5855 LYMAN ROAD
TURN, NY 13473

ZONING CLASSIFICATION:
AG-RES DIST B
LOT AREA: 40,000 S.F.
FRONTAGE: 200 FT.
DEPTH: 180 FT.
SETBACKS:
FRONT: 40'
SIDE: 30'
REAR: 40'

OPEN SPACE INTENSITY REGULATIONS
AG-RES DIST B
LOT AREA: 15,000 S.F.
FRONTAGE: 50 FT.
DEPTH: N.A.
LOT WIDTH: N.A.
SETBACKS:
FRONT: 30'
SIDE: 10'
REAR: 10'

OPEN SPACE REQUIREMENTS:

TOTAL LAND AREA: 337,650 s.f. (7.75 Acres)
OPEN SPACE AREA REQUIRED: (50%) 168,825 s.f. (3.8 Acres)
OPEN SPACE AREA PROVIDED:
170,251 s.f. (3.92 Acres)
UPLAND AREA: 86,450 S.F. (50.6%)

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COMMONWEALTH OF MASSACHUSETTS.

JOHN F. HASTIN P.S. 8/29/73
DATE

ROBERT S. TRUCK, P.F. 8/29/23

GRAPHIC SCALE

CONVENTIONAL PLAN

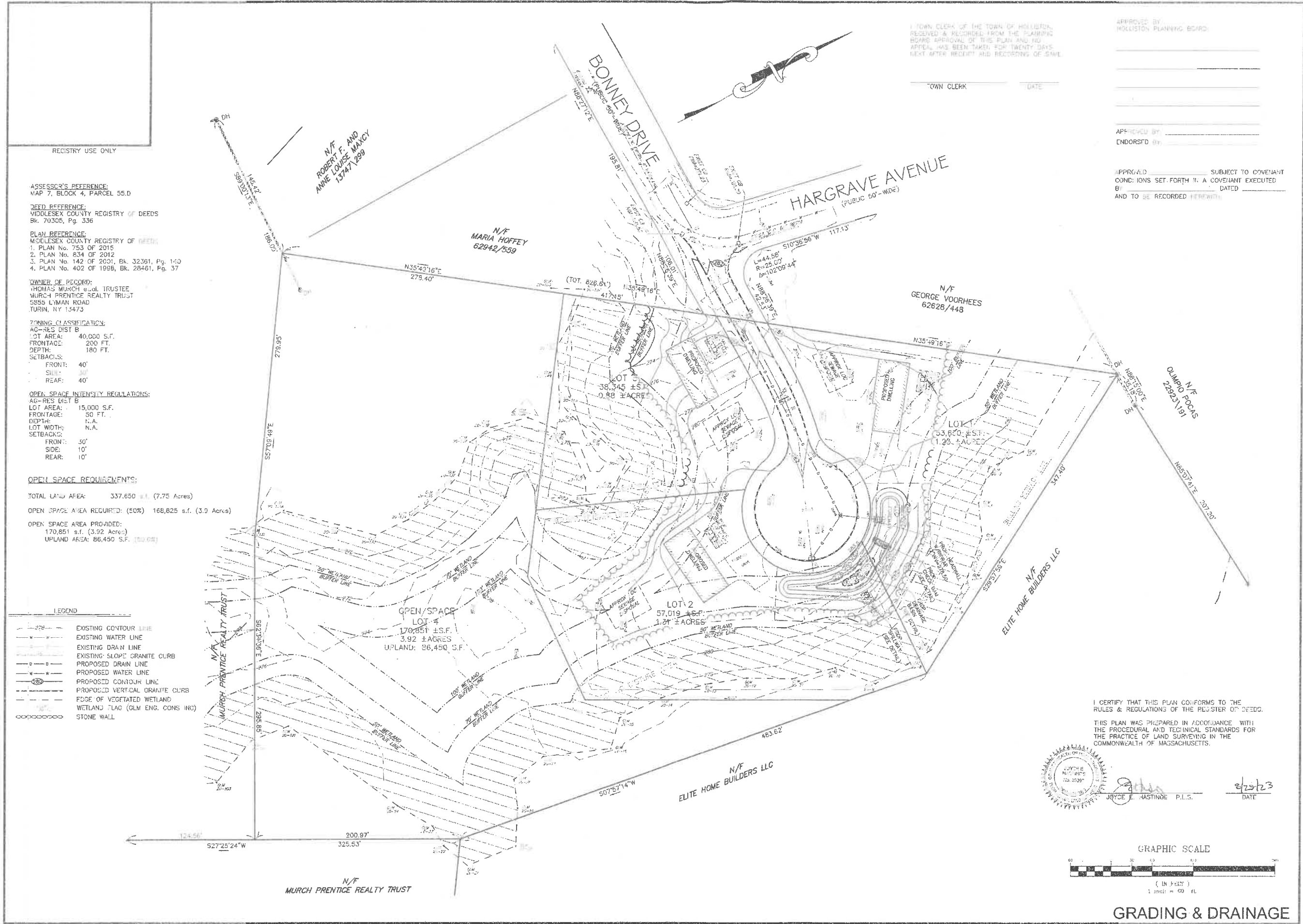
DEFINITIVE OPEN SPACE SUBDIVISION
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A 3 LOT SINGLE FAMILY SUBDIVISION
HOLLISTON, MASSACHUSETTS

PREPARED FOR:

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TURIN, NY 13473

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JOB No.	7701DEF
DATE:	AUG. 29, 2023
SCALE:	1"=60'
SHEET:	4 of 10
PLAN #:	27,404



ASSESSOR'S REFERENCE:
MAP 7, BLOCK 4, PARCEL 55.D

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OWNER OF RECORD:
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MURCH PRENTICE REALTY TRUST
5855 LYMAN ROAD
TURIN, NY 13473

ZONING CLASSIFICATION:
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LOT AREA: 40,000 S.F.
FRONTAGE: 200 FT.
DEPTH: 180 FT.

SETBACKS:
FRONT: 40'
SIDE: 10'
REAR: 40'

OPEN SPACE INTENSITY REGULATIONS:
AG-RES DIST B

LOT AREA: 15,000 S.F.
FRONTAGE: 50 FT.
DEPTH: N.A.
LOT WIDTH: N.A.

SETBACKS:
FRONT: 30'
SIDE: 10'
REAR: 10'

OPEN SPACE REQUIREMENTS:

TOTAL LAND AREA: 337,650 s.f. (7.75 Acres)

OPEN SPACE AREA REQUIRED: (50%) 168,825 s.f. (3.9 Acres)

OPEN SPACE AREA PROVIDED:
170,851 s.f. (3.92 Acres)
UPLAND AREA: 86,450 S.F. (1.97 Acres)

LEGEND

- EXISTING CONTOUR LINE
- EXISTING WATER LINE
- EXISTING DRAIN LINE
- EXISTING SLOPE GRANITE CURB
- PROPOSED DRAIN LINE
- PROPOSED WATER LINE
- PROPOSED CONTOUR LINE
- PROPOSED VERTICAL GRANITE CURB
- EDGE OF VEGETATED WETLAND
- WETLAND FLAG (GLM ENG. CONSULTING)
- STONE WALL

TOWN CLERK OF THE TOWN OF HOLLISTON,
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TOWN CLERK _____ DATE _____

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HOLLISTON PLANNING BOARD

APPROVED BY: _____
ENDORSED BY: _____

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JOYCE E. HASTINGS P.L.S. 8/29/23
DATE

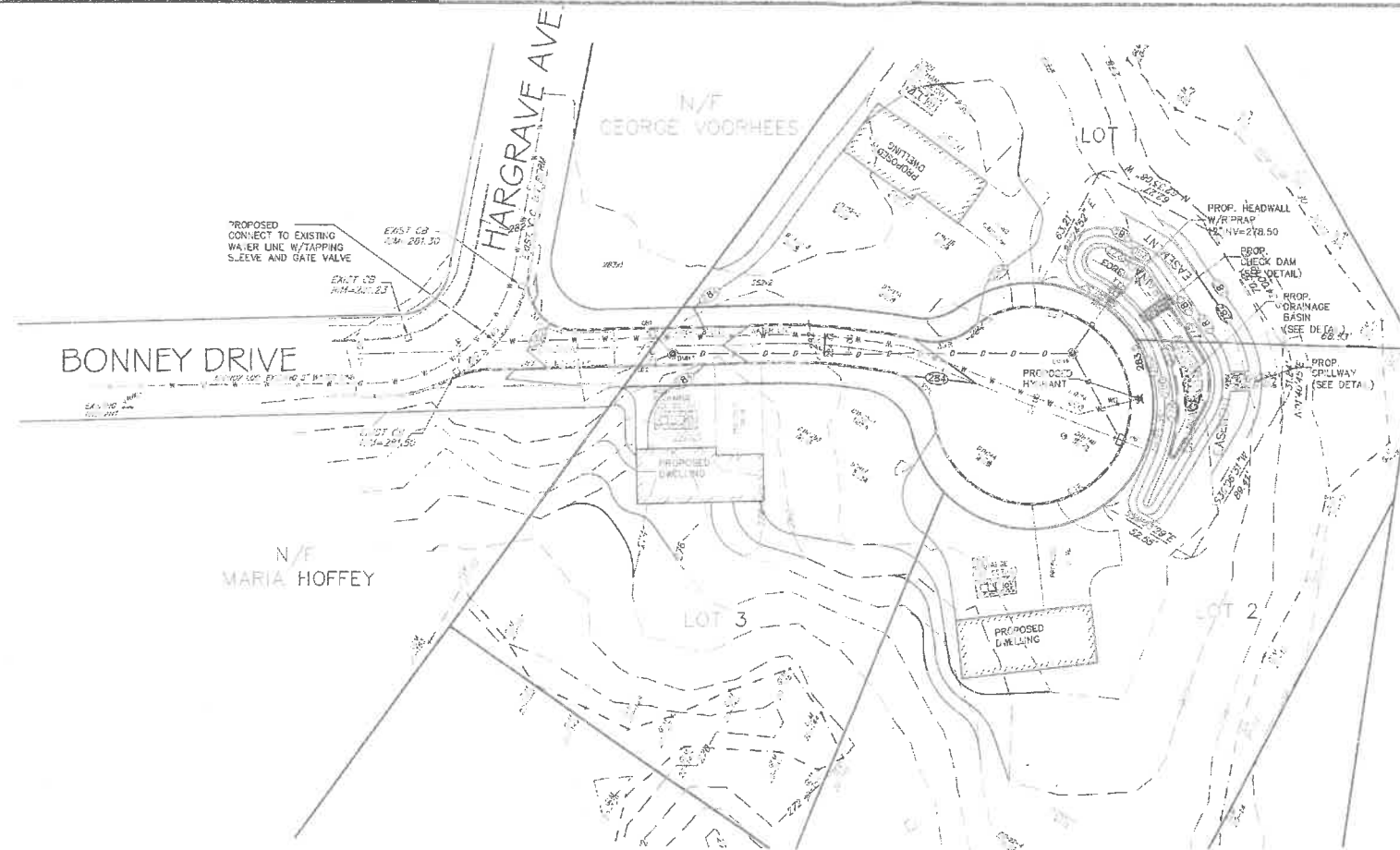
GRAPHIC SCALE
1"=60'
1 inch = 60 feet

DEFINITIVE OPEN SPACE SUBDIVISION
"BONNEY DRIVE EXTENSION"
A 3 LOT SINGLE FAMILY SUBDIVISION
HOLLISTON, MASSACHUSETTS

PREPARED FOR:
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JOB No. 7701DEF
DATE: AUG. 29, 2023
SCALE: 1"=60'
SHEET: 5 of 10
PLAN #: 27,404



APPROVED BY:
HOLLISTON PLANNING BOARD

APPROVED BY: _____
ENDORSED BY: _____

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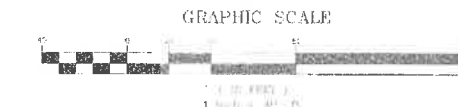
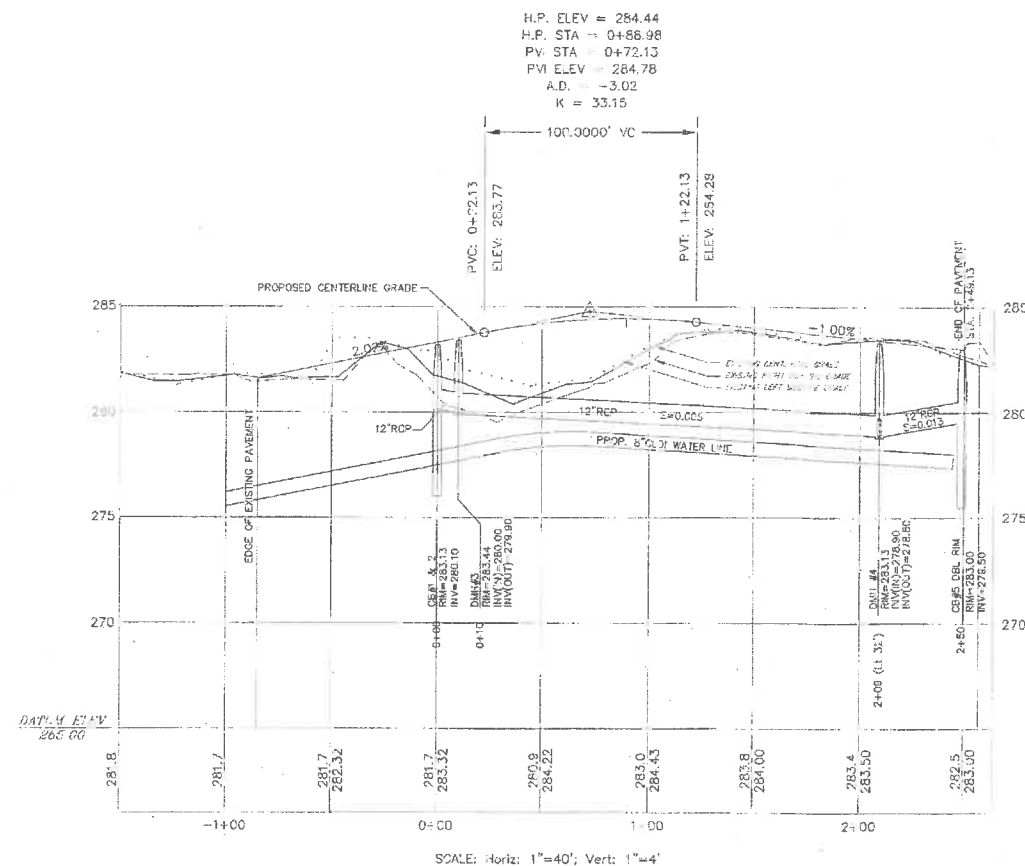
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TOWN CLERK _____ DATE _____



Robert L. Cunniff
ROBERT L. CUNNIFF, P.E.

2/21/23
DATE



PLAN & PROFILE

DEFINITIVE OPEN SPACE SUBDIVISION
"BONNEY DRIVE EXTENSION"
A 3 LOT SINGLE FAMILY SUBDIVISION
HOLLISTON, MASSACHUSETTS

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JOB No. 7701DEF
DATE: AUG. 29, 2023
SCALE: 1"=40'
SHEET: 6 of 10
PLAN #: 27,404

EROSION AND SEDIMENTATION CONTROL

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT EROSION CONTROL BARRIERS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.

2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT DETAIL WITH FILTER FENCE DETAIL ABOVE.

3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND FENCE SHALL BE REMOVED.

4. THE FILTER MITT BARRIER INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.

5. EROSION CONTROL MEASURES SHALL BE MONITORED ON A DAILY BASIS, OR AS NEEDED, AND BE REINFORCED, REPAIRED, OR REPLACED WHEN NEEDED, PER JUDGEMENT OF THE SITE FOREMAN AND/OR TOWN OF HOLLISTON REPRESENTATIVE.

6. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES TEMPORARILY CEASE FOR AT LEAST 30 DAYS. AREAS SHALL BE STABILIZED WITH TEMPORARY SEED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDING WHEN WEATHER CONDITIONS ALLOW.

7. THE FIRST ONE-HUNDRED AND FIFTY (150) FEET OF THE PROPOSED ROADWAY ENTRANCE AT THE INTERSECTION OF PRENTICE STREET SHALL BE COVERED WITH TWELVE (12) INCHES OF 3 - 5 INCH CRUSHED STONE TO STABILIZE THE AREA.

8. WATER SPRAYING SHALL BE UTILIZED ON ALL DISTURBED AREAS DURING DRY WEATHER TO PREVENT DUST. A WATER TRUCK SHALL BE KEPT ON SITE AT ALL TIMES DURING THE DURING THE SUMMER MONTHS OF CONSTRUCTION.

9. FOLLOWING CONSTRUCTION OF THE CATCH BASIN STRUCTURES WITHIN THE SITE, SILT SACKS SHALL BE INSTALLED AND MAINTAINED DURING CONSTRUCTION. (SEE DETAIL)

EROSION CONTROL MAINTENANCE

1. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES $\frac{1}{4}$ HEIGHT OF THE EROSION CONTROL BARRIER.

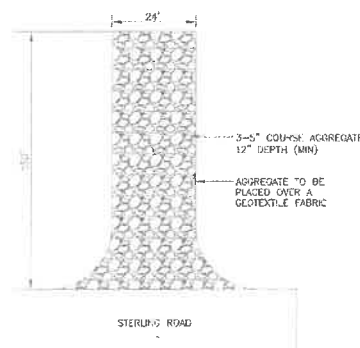
2. THE CONTRACTOR SHALL HAVE ON THE SITE, AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES, SILT FENCE AND STAKES TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER A STORM EVENT OF 1" INCH OR GREATER.

DEWATERING

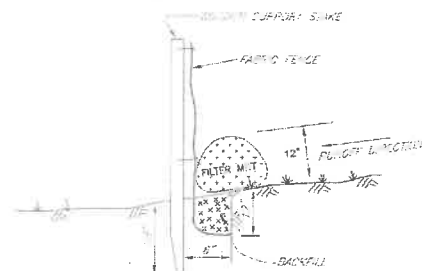
PUMPING AND DEWATERING SHALL BE DONE IN A MANNER WHICH WILL NOT DISCHARGE ANY SILT AND SEDIMENT INTO A RESOURCE AREA. DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE BASIN SHALL BE PLANNED TO BE LOCATED OVER THICKLY AND NATURALLY MULCHED UPLAND AREA. ALL BASINS SHALL BE LOCATED AT LEAST 100 FEET UPSLOPE FROM ANY WETLAND RESOURCE AREA.

STOCKPILING

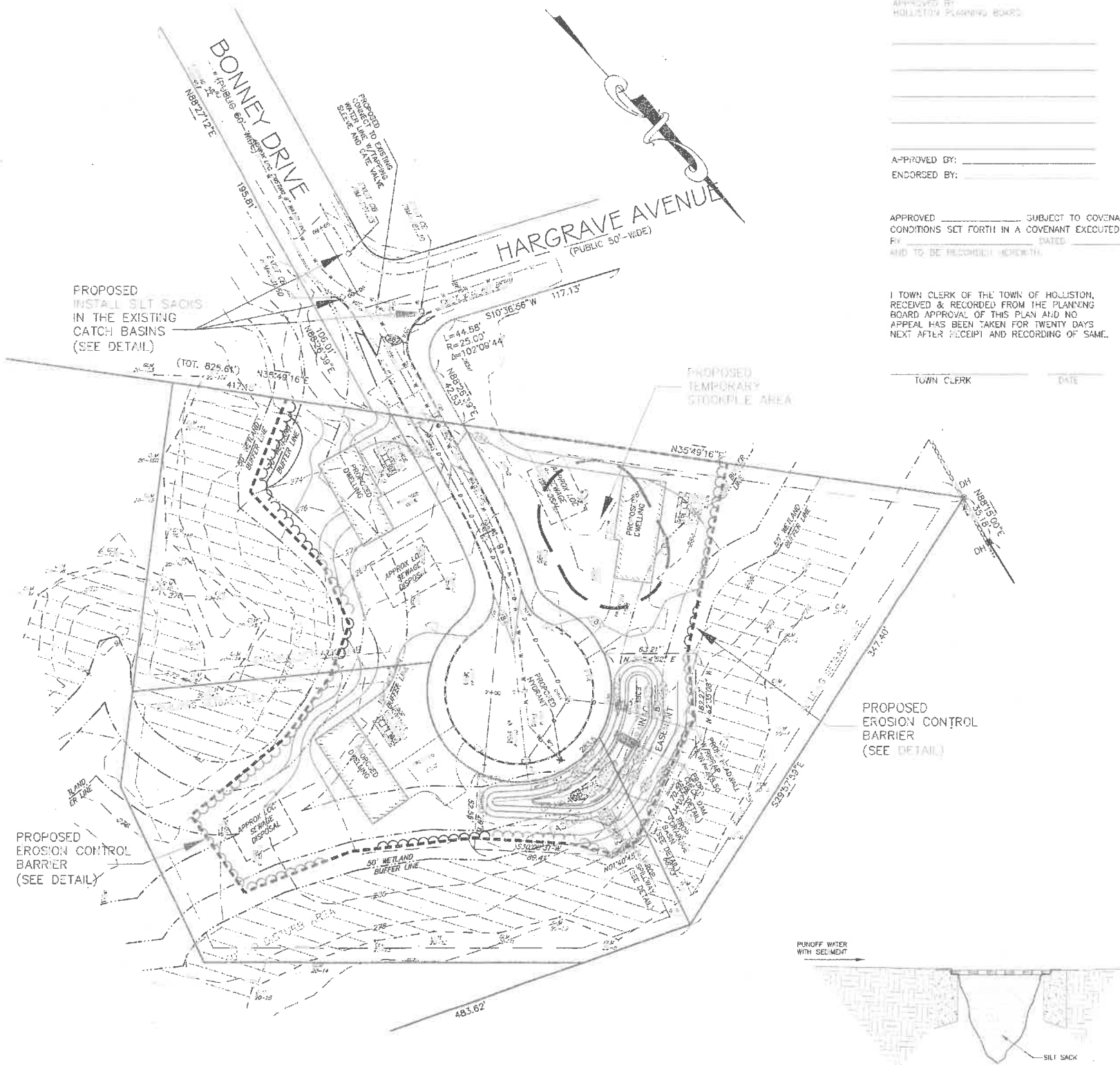
ALL STOCKPILES AREAS SHALL BE SECURED AROUND THE PERIMETER WITH FILTER MITT BARRIER.



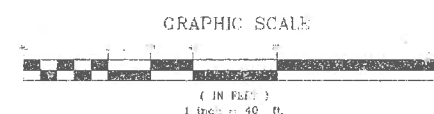
TRAP ROCK APRON
CONSTRUCTION ENTRANCE
N.T.S.



EROSION CONTROL BARRIER
WITH FILTER MITT
N.T.S.



SILT SACK CATCH BASIN INLET
NOT TO SCALE



EROSION CONTROL

APPROVED BY:
HOLLISTON PLANNING BOARD

APPROVED BY: _____
ENDORSED BY: _____

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A 3 LOT SINGLE FAMILY SUBDIVISION
HOLLISTON, MASSACHUSETTS

PREPARED FOR:
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MURCH PRENTICE REALTY TRUST
5865 LYMAN ROAD
TUNN, NY 13473

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SHEET: 7 of 10
PLAN #: 27,404

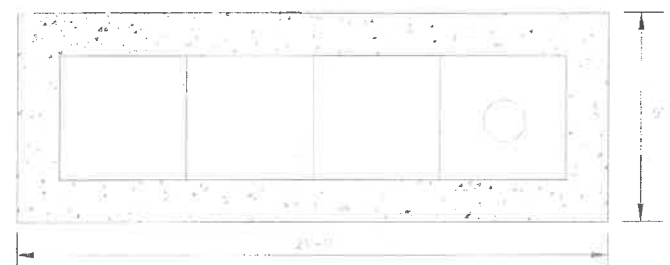
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HOLLISTON PLANNING BOARD

TOWN CLERK _____ DATE _____

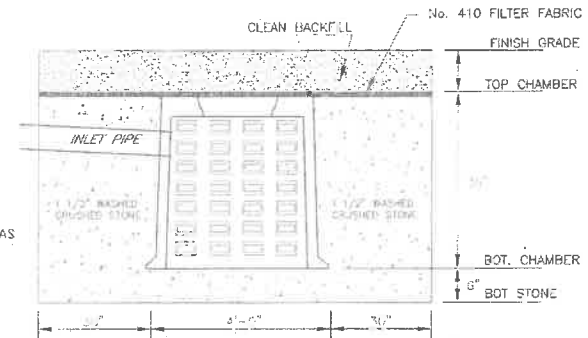
APPROVED BY:
ENDORSE (R) _____



4 - 4X4X3 GALLEY'S W/STONE

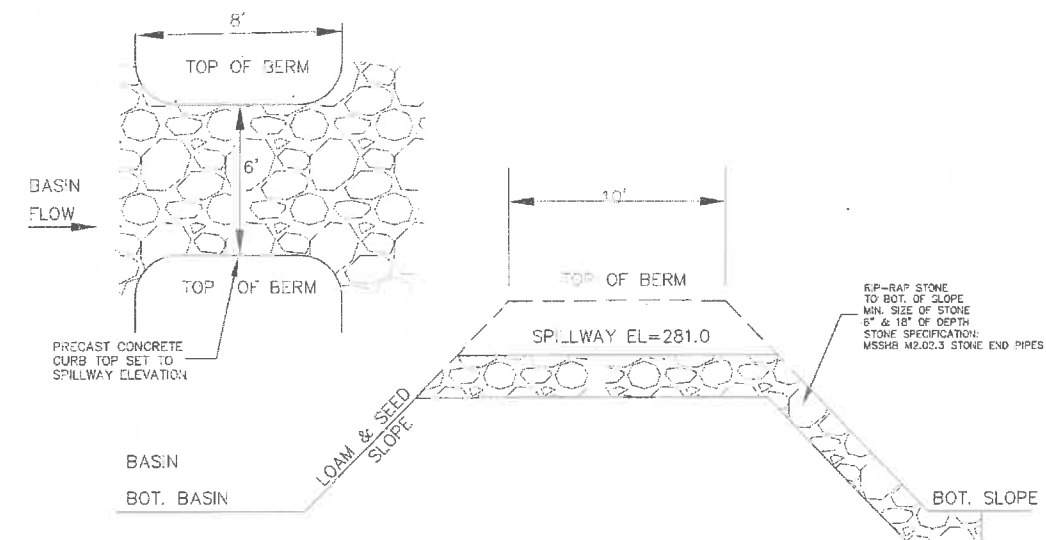
NOTES:
1. ALL ROOF RUNOFF SHALL BE DIRECTED
TO A RECHARGE SYSTEM. (SEE PLAN)

NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
DESIGNED FOR H-20 LOADING.
2. GALLEYS TO BE PLACED AGAINST ONE ANOTHER AS
INDICATED ON THE GRADING PLAN ON A STONE
BASE, WITH 18" OF STONE ALL AROUND.
3. STONE SHALL MEET SECTION M2.01.2 OF THE
MHD SPECIFICATIONS.



ROOF RECHARGE SYSTEM DETAIL

N.T.S.

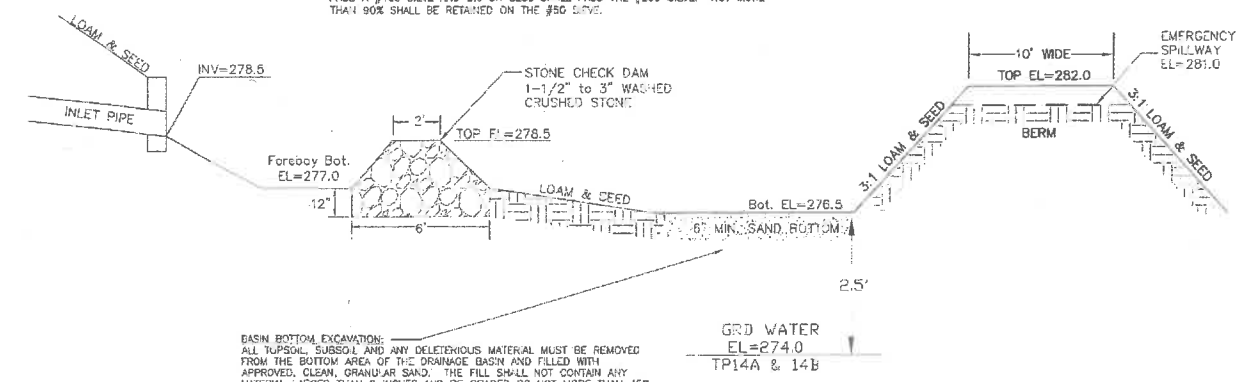


DRAINAGE BASIN SPILLWAY DETAIL

NOT TO SCALE

NOTES:
1. THE AREA BELOW THE INFILTRATION SYSTEM AND 5 FEET BEYOND THE
BOTTOM ELEVATION LIMIT IS TO BE EXCAVATED AND ALL DELETERIOUS
MATERIAL REMOVED TO THE DEPTH OF THE NATURAL "BARE" MATERIAL.
2. NO CONSTRUCTION PERIOD RUNOFF SHALL BE DIRECTED TO THE DETENTION
BASIN.

LIMIT OF EXCAVATION
ALL DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE
INFILTRATION SYSTEMS AND OTHER DESIGNATED LIMITS AND FILLED WITH
APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY
MATERIAL LARGER THAN 2 INCHES AND BE GRADED TO NOT MORE THAN 45% OF
THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL
PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE
THAN 90% SHALL BE RETAINED ON THE #50 SIEVE.



BASIN BOTTOM EXCAVATION:
ALL TOPSOIL, SUBSOIL AND ANY DELETERIOUS MATERIAL MUST BE REMOVED
FROM THE BOTTOM AREA OF THE DRAINAGE BASIN AND FILLED WITH
APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY
MATERIAL LARGER THAN 2 INCHES AND BE GRADED TO NOT MORE THAN 45%
OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR
LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200
SIEVE.

GRD WATER
EL=274.0
TP14A & 14B

OUTLET STRUCTURE DETAIL BASIN #1

(PRECAST CONCRETE STRUCTURE)
NOT TO SCALE



DEFINITIVE OPEN SPACE SUBDIVISION
"BONNEY DRIVE EXTENSION"
A 3 LOT SINGLE FAMILY SUBDIVISION
HOLLISTON, MASSACHUSETTS

PREPARED FOR:
THOMAS MURCH et al., TRUSTEE
MURCH PRENTICE REALTY TRUST
5855 LLYMAN ROAD
TURIN, NY 13473

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	7701DEF
DATE:	AUG. 29, 2023
SCALE:	1"=40'
SHEET:	8 of 10
PLAN #:	27,404

DRAINAGE DETAILS

APPROVED BY: _____
HOLLISTON PLANNING BOARD

APPROVED BY: _____
ENDORSED BY: _____

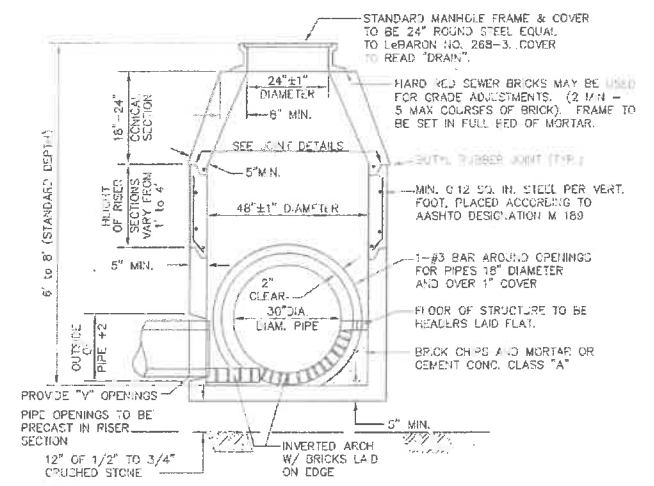
APPROVED: _____ SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____ DATED _____
AND TO BE RECORDED HEREWITH.

I, TOWN CLERK OF THE TOWN OF HOLLISTON,
RECEIVED & RECORDED FROM THE PLANNING
BOARD APPROVAL OF THIS PLAN AND NO
APPEAL HAS BEEN TAKEN FOR TWENTY DAYS
NEXT AFTER RECEIPT AND RECORDING OF SAME.

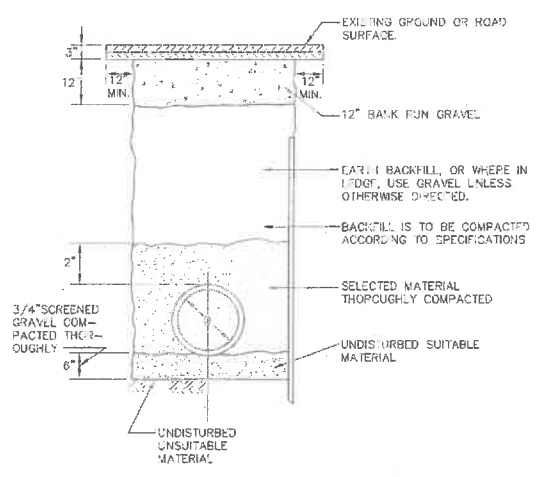
TOWN CLERK _____ DATE _____

DIAMETER	12"	15"	18"	21"	24"	30"
LENGTH	7'-6"	8'-8"	9'-2"	10'-0"	11'-8"	12'-6"
CONC. (Cu.Yd.)	1.49	1.82	2.34	3.18	4.42	5.88
STEEL (Lbs.)	25	29	30	32	42	56

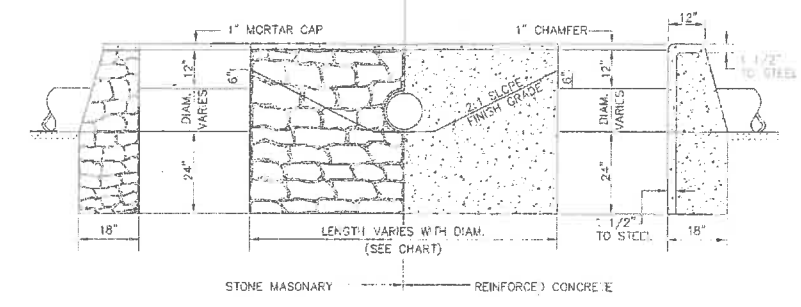
STEEL SHALL BE #3 REINFORCED BARS,
SPACED 12" ON CENTER



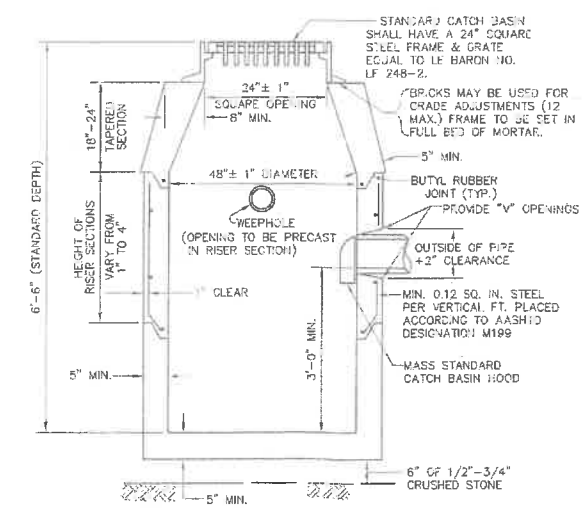
PRECAST CONCRETE MANHOLE DETAILS
NOT TO SCALE



TYPICAL DRAIN TRENCH DETAILS
NOT TO SCALE

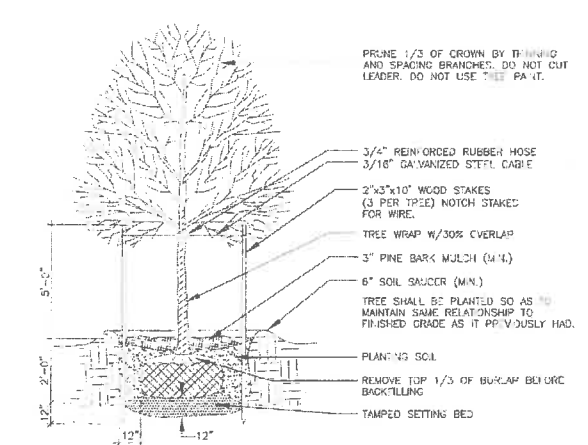


HEADWALLS
MASONRY & CONCRETE
N.T.S.



NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO
BE TIGHTLY SEALED WITH MORTAR.

PRECAST CONCRETE CATCH BASIN DETAILS
NOT TO SCALE



STREET TREES SHALL BE A MINIMUM
HEIGHT OF 8 FEET.

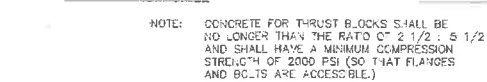
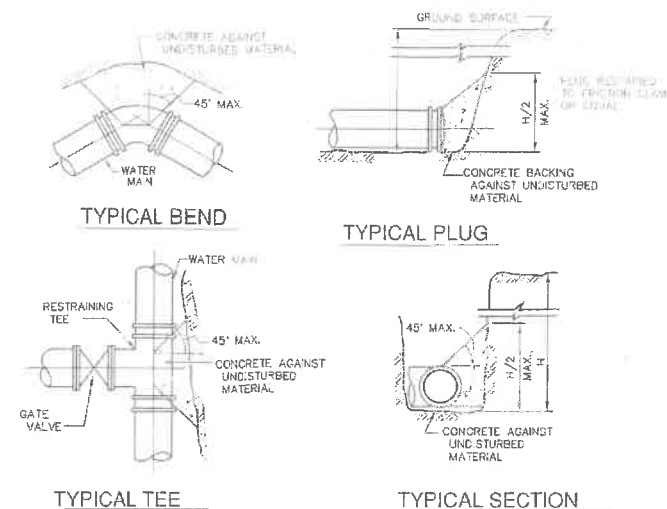
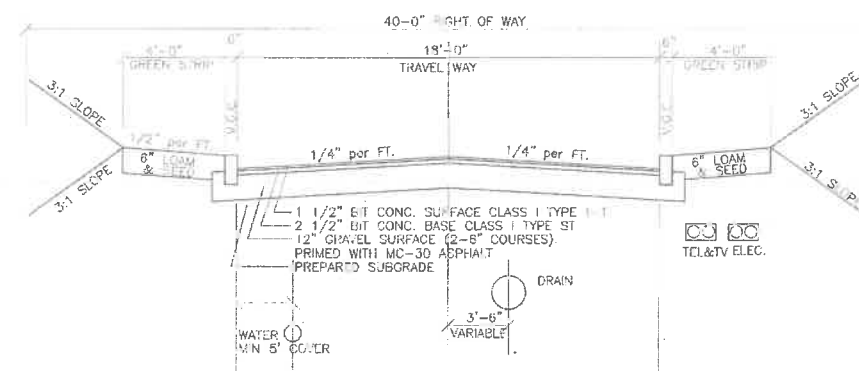
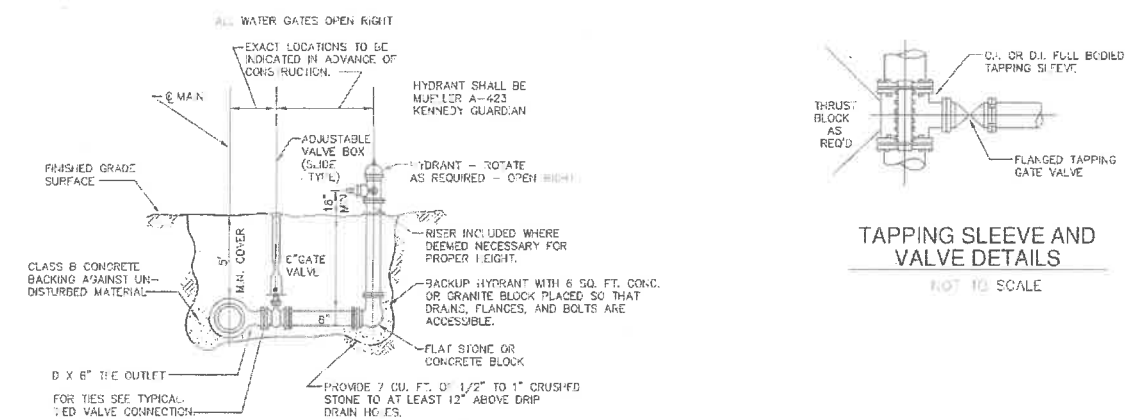
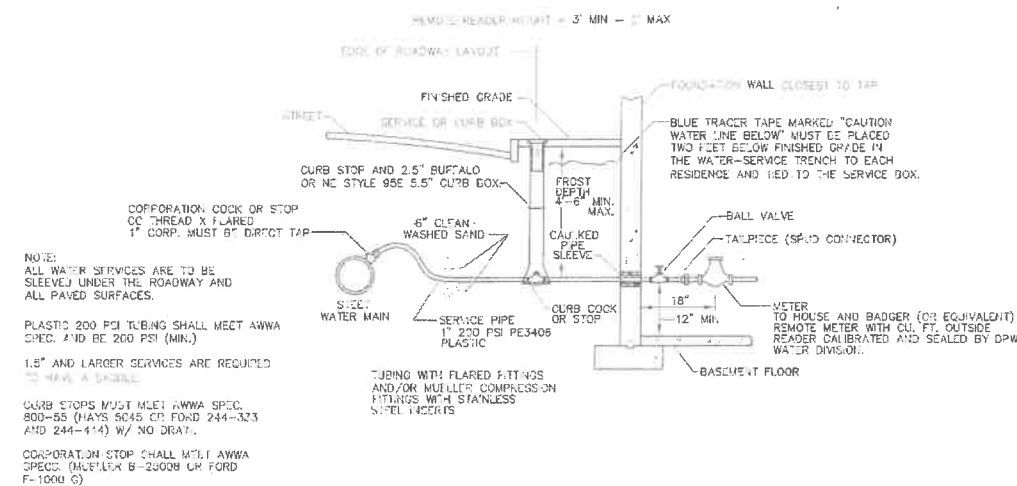
TYP. DECIDUOUS TREE PLANTING
NOT TO SCALE

DEFINITIVE OPEN SPACE SUBDIVISION
"BONNEY DRIVE EXTENSION"
A 3 LOT SINGLE FAMILY SUBDIVISION
HOLLISTON, MASSACHUSETTS

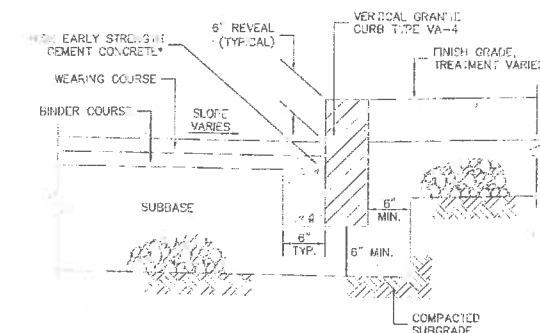
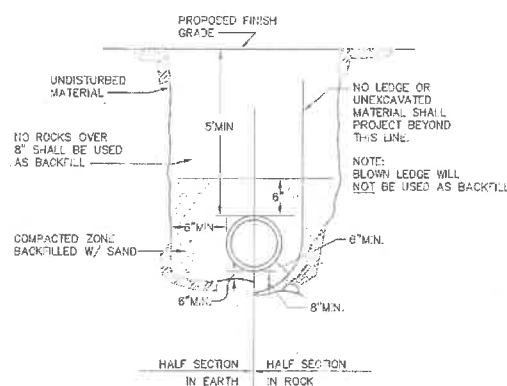
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JOB No. 7701DEF
DATE: AUG. 29, 2023
SCALE: 1"=40'
SHEET: 9 of 10
PLAN #: 27,404

DETAILS



BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEE
6 AND 8	8	8		8
10 AND 12	12	13	8	16



APPROVED BY:
HOLLISTON PLANNING BOARD.

LEARNED BY:

ENDORSED BY:

APPROVED _____ SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____ DATED _____
AND TO BE RECORDED HEREWITH.

I TOWN CLERK OF THE TOWN OF DOLLISTON,
RECEIVED & RECORDED FROM THE PLANNING
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TOWN CLERK



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