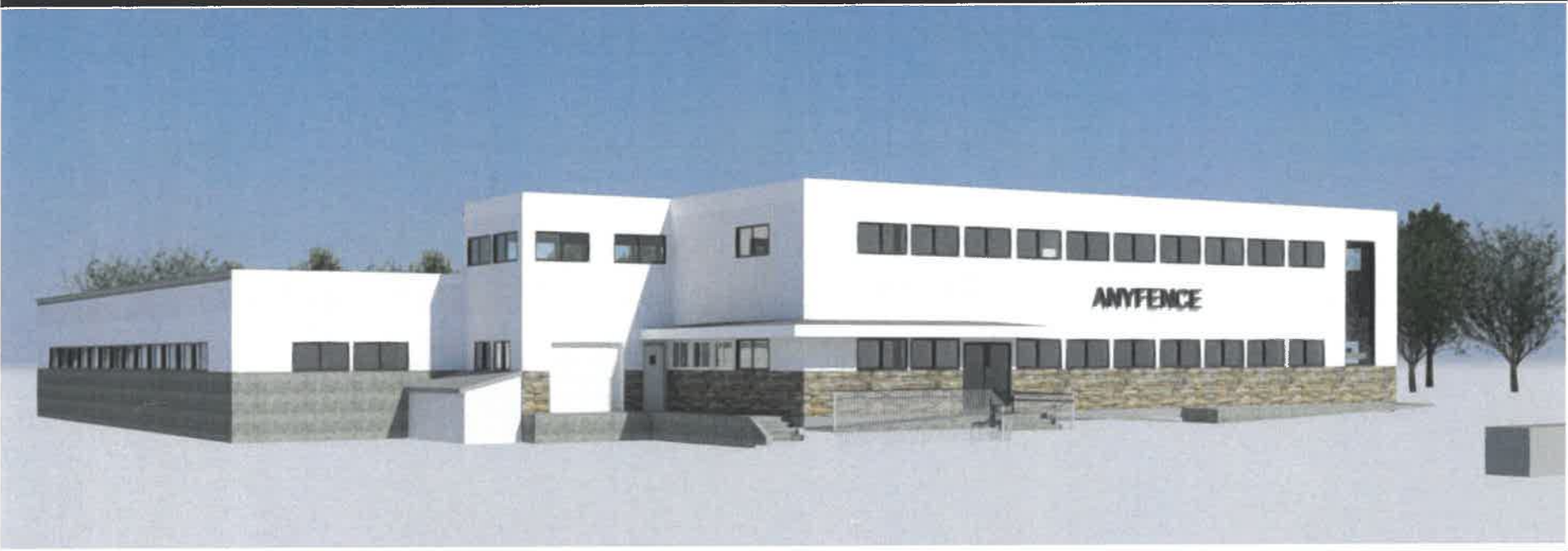


AnyFence Offices

1485 Washington st Holliston, MA. 01746

Illustration



PROJECT TEAM

ARCHITECT
MATZ COLLABORATIVE
ARCHITECTS INC.
50 SPEEN STREET, SUITE 300
FRAMINGHAM, MA. 01701

CIVIL ENGINEER
CDW CONSULTANTS

4 California Ave,
Framingham, MA 01701

STRUCTURAL ENGINEER
SEACOAST STRUCTURAL
ENGINEERS LLC
5 DOG TOWN ROAD
EXETER, NH. 03833

DRAWING LIST

ARCHITECTURAL
G000 COVER SHEET
G001 GENERAL NOTES
G002 CODE SUMMARY
A100 SITE PLAN
A101 FIRST FLOOR PLAN
A102 SECOND FLOOR PLAN
A103 ROOF PLAN
A121 GARAGE LEVEL RCP
A122 FIRST FLOOR RCP
A201 EXTERIOR ELEVATIONS
A202 EXISTING HOME ELEVATIONS
A203 EXISTING HOME ELEVATIONS
A301 SECTIONS
A302 SECTIONS
A303 ENLARGED PLANS AND DRAWINGS
A401 INTERIOR ELEVATIONS BASEMENT LEVEL
A402 INTERIOR ELEVATIONS FIRST FLOOR
A403 INTERIOR ELEVATIONS FIRST FLOOR
A404 INTERIOR ELEVATIONS FIRST FLOOR
A405 FRONT PORCH ELEVATIONS
A601 DOOR SCHEDULE
A602 WINDOW SCHEDULE
A603 FINISH SCHEDULE

STRUCTURAL

MECHANICAL

CIVIL

LOCUS PLAN



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Consultant

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Holliston, MA 01746

MCA Project #:

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G000

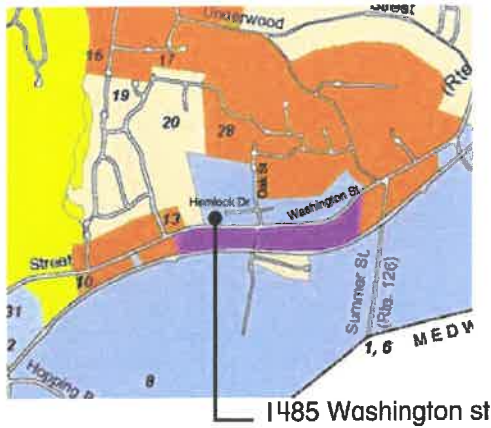
Proposed
Office space



Existing Warehouse

Existing Warehouse

Existing
Office Space



1485 Washington st



ZONING & CODE SUMMARY

Zoning	Zoning Standards	Existing	Proposed
Acceptable By-Law	TOWN OF HOLLISTON ZONING BY-LAWS ADOPTED JUNE 3, 1953 AS A "PROTECTIVE BY-LAW" WITH AMENDMENTS THROUGH MAY 10, 2021 (2021 Amendments approved by the Attorney General's Office on August 26, 2021)		
Zoning District	Industrial		
Ground Water Protection District	Zone II Delineation		
Dimensional Requirements	(Industrial)		
Minimum Lot Area	20,000 SF	273,121 SF	
Minimum Lot Depth	150 ft.	>150 feet	
Minimum Lot Frontage	100 ft.	482.7 feet	
Front Yard Depth per Table 5.4.2	30 ft.	66 feet	
Side Yard Depth	20 ft.	61 feet	
Side Yard Depth	20 ft.	20 feet	
Limit of impervious coverage	50% = 136,560.5 SF	5.9%	
Maximum Lot Coverage	40% (Buildings, Structures & Accessory Buildings)	3.5%	
Maximum Height	40 ft. / 3 stories	1 story	
Parking			
Number of spaces	1 per 1.3 employees on largest shift, but capable of expansion to not less than one space per 300 square feet gross floor area, plus loading space for all delivery and shipping trucks.	17 spaces + 5 spaces for trailers	

2016 zoning code summary

Page 1

4.29.2022

- a. All uses prohibited in Zone III.
- b. Storage of sludge and septage, unless such storage is in compliance with 310 CMR 32.30 and 32.31.
1. Earth removal, consisting of the removal of soil, loam, sand, gravel, or any other earth material (including mining activities) within 4 feet of historical high groundwater as determined from monitoring wells and historical water table fluctuation data compiled by the United States Geological Survey, except temporary removal excavations (45 days allowed to replenish to design height) for building foundations, roads, or utility works:
- 2) Zone II: Special Permits
- D. The following uses are permitted only under the terms of a special permit issued by the Special Permit Granting Authority.
- 2) Zone II: Special Permits
- a. Any use involving the retention of less than 30% of lot area in its natural state with no more than minor removal of existing trees and ground vegetation.
- b. Any use involving on-site disposal of process wastes from operations other than personal hygiene and food for residents, patrons and employees.
- c. Any use other than a single-family dwelling with a sewage flow, as determined by Title 5 of the State Environmental code, exceeding 110 gallons per day per 10,000 square feet of lot area or exceeding 15,000 gallons per day regardless of lot area.
- d. Expansion of pre-existing non-conforming uses to the extent allowed in the underlying district. The Special Permit Granting Authority shall grant such approval so long as such expansion program conforms to underlying intensity and parking regulations unless it shall find that such expansion is substantially more detrimental to the water supply than the presently existing use with reference to factors other than mere change in size or intensity of use.
- e. Publicly and privately owned wastewater treatment works.

V-D MINIMUM RESIDENTIAL FLOOR AREA (Amended June 1982 – STM. Art. 12. Previously amended March 1978 – STM, Art. 1)

No dwelling shall be erected, reconstructed, remodeled or altered so that the floor area of living space per dwelling unit shall be less than the following:

Agricultural-Residential District "A" 768 sq. ft.

Agricultural-Residential District "B" 768 sq. ft.

Residential District 600 sq. ft.

Commercial District 600 sq. ft.

Village Center Commercial District 500 sq. ft.

Living space shall mean the total of floor areas of rooms used or intended to be used for living, sleeping, cooking or eating purposes, excluding bathrooms, toilets, laundries, pantries, foyers, communicating corridors, stairways, closets, storage spaces, the area with less than four feet clear headroom under sloping ceilings, garages, breezeways and carports, as defined by the Division of Sanitary Engineering, Massachusetts Department of Public Health in its Minimum Standards of Fitness for Human Habitation. This regulation shall not apply to any single family detached dwelling.

26 mod de zoning code summary

Page 3

1.31.2022

-Structure – Three (3) dimensional permanent improvements to real estate made with building materials which improvements include, but are not limited to swimming pools, tennis courts, basketball courts and accessory buildings. Driveways, patios, badminton and volleyball court nets (without courts), backboards above garage doors, flagpoles etc. are excluded. (Amended May 1998 – ATM, Article 43)

V-L GROUNDWATER PROTECTION DISTRICT

4. Use Regulation –

A. To the extent permitted in the underlying districts, the following uses are permitted within the Groundwater Protection District, provided that all necessary permits, orders or approvals required by local, state or federal law, or regulations shall have been obtained.

1) Zone I: Permitted Uses

Current and future land uses within the Zone I shall be limited to those land uses directly related to the operation and maintenance of the public water supply system or to other land uses which the public water supplier has demonstrated have no significant impact on water quality.

2) Zone I-A: Permitted Uses

a. All ordinary and customary uses associated with the maintenance and upkeep of residential homes, outbuildings and grounds and commercial and industrial buildings and grounds. Non-intensive agricultural and horticultural uses: pasture, hay, light grazing, gardening, lawns, compost piles, nursery, forestry, conservation and harvesting provided that chemical fertilizers, herbicides, pesticides and similar leachable materials are not stored outdoors or in any other manner which would permit leakage thereof. Where the application is made of fertilizers, pesticides, herbicides or other toxic or hazardous materials in sufficient quantity, groundwater quality monitor test wells may be installed and periodically sampled and tested at the Town's expense. Test wells shall be located by a professional geologist, hydrologist or engineer trained and experienced in hydrogeology. Sampling will be conducted by an agent of the Board of Water Commissioners.

c. Residential development of single family detached dwelling on lots of at least 80,000 square feet in area, such that no more than 10 percent of the building lot is rendered impervious and on-site domestic sewage disposal does not exceed 55 gallons per day per 10,000 square feet of lot area.

e. Residential buildings and structures existing on the effective date of this by-law may be maintained, repaired or altered including the addition of accessory buildings or uses, provided that such alterations or additions shall not increase the total amount of impervious surface on the lot to more than 10% of the total lot area, or more than 50% of the impervious cover already present. On-site sewage disposal shall be limited to 55 gallons per day per 10,000 square feet of lot area or increases totaling 50% of existing volume (as of April 1, 2000), whichever is greater.

Zone II: Permitted Uses (Zone II - Major aquifers and primary areas of recharge.)

a. All uses permitted in Zone I-A, above, and the following uses to the extent permitted in the underlying district.

b. Residential development of single family detached dwellings or any residential building, structure or use other than single-family dwellings on lots of at least 40,000 square feet in area, such that no more than 15% or 2,500 s.f. whichever is greater, of any building lot is rendered impervious unless a system of artificial recharge of precipitation is provided that will not result in the degradation of groundwater quality and on-site sewage disposal is equal to, or less than, 110 gallons per day per 10,000 square feet of lot area, but no greater than 15,000 gpd. (Amended October 2013 – STM, Article 19)

e. Residential buildings and structures existing on the effective date of this bylaw may be maintained, repaired or altered, including the addition of accessory buildings or uses, provided that such alterations or additions shall not increase the total amount of impervious surface on the lot to more than 20% of the total lot area, or more than 50% of the impervious cover already present. On-site sewage disposal shall be limited to 110 gallons per day per 10,000 square feet of lot area.

2) Zone II: Prohibited Uses.

26 mod de zoning code summary

Page 2

1.31.2022

CODE

Applicable Building Codes		
Building Code		
Referenced Code		
Electrical / Fire Prevention Code		
Plumbing Code		
Architectural Access Board Regs.		
Building Use Group Classification		
(IBC 2015 Section 311.2)		
Occupant Load		
(IBC 2015 Table 1004.1.1)		
Year Constructed		
Type of Construction		
Classification		
Building Height and Area		
- Allowable Height (Table 504.3)		
- Allowable Stories (Table 504.4)		
- Proposed Height / Stories		
Allowable Floor Area (Table 506.2)		
Fire Resistance Rating		
Hazardous Materials Notes		
IECC Insulation (2015 Table C402.1.3)		
Opaque Thermal Envelope		
Insulation		
Fenestration U-factor		
Fenestration SGHC		
Egress Width (IBC 2015 1005)	Minimums apply to all exits	34" clear at doorways 36" wide at stairways
Required Exits (IBC 2015 Section 1006) Table 1006.2.1	1 exit required (occupancy <29)	Maximum travel to exit = 100'
Sprinklers / Fire Suppression (2015 IBC Section 903.2.9.1 & 2)	Sprinklers are not required (<10,000 SF)	
Fire Alarm System (2015 IBC Section 907.2.)	Not Required (verify)	
Plumbing (248 CMR Section 10.10 Table 1- Employee Non-Industrial)	Toilets (1/25 men 1/20 Women Lavatories (1/40 each sex) Utility Sink (1 per floor) Shower NR (1 per 15)	Toilets 2 Lavatories 2 Utility Sink 1 Shower 0

26 mod de zoning code summary

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Consultant

Project

Anyfence
Offices

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Holliston, MA 01746

MCA Project #:
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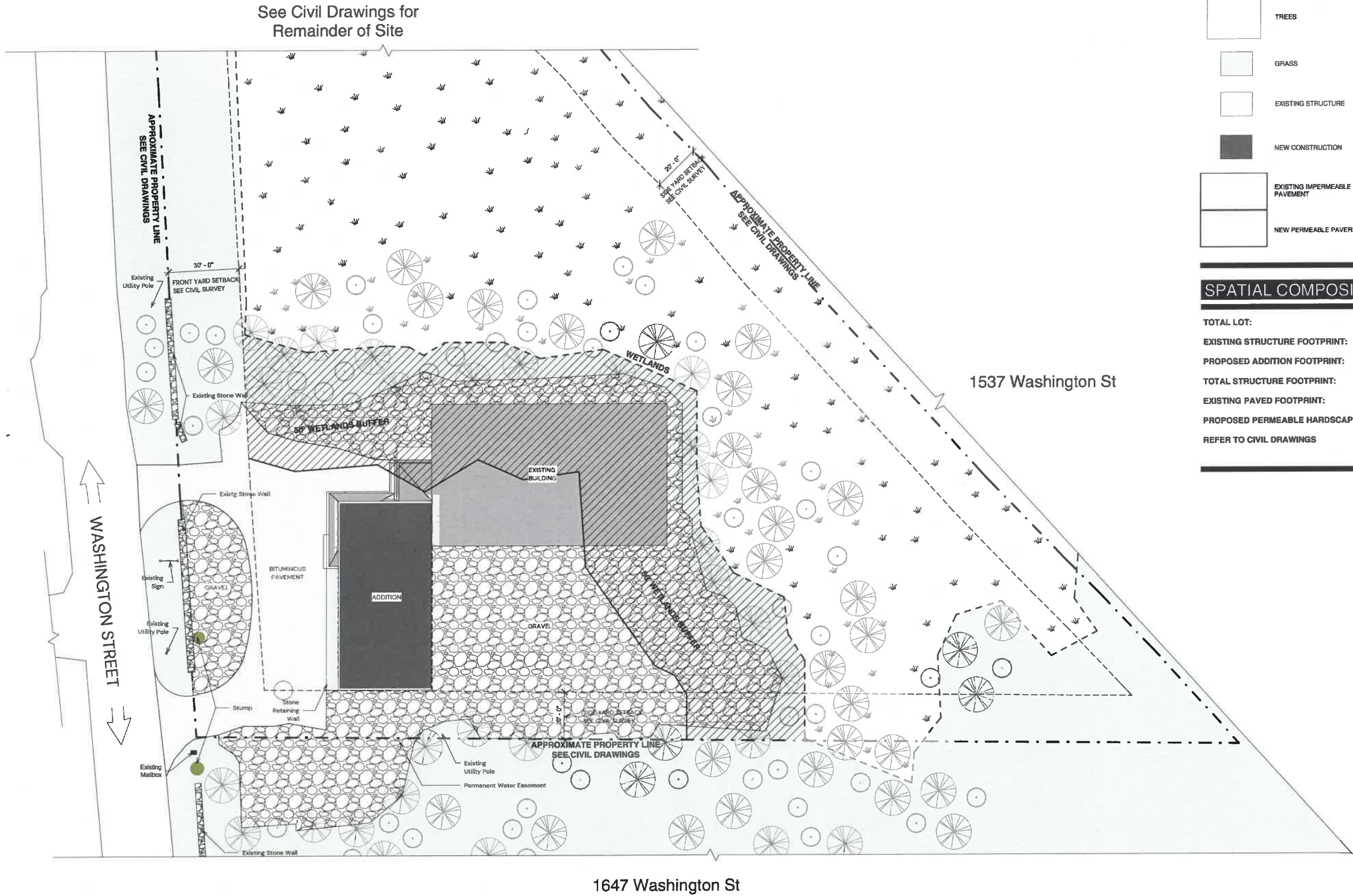
Code
Summary

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Date: 07/27/2022

Sheet

G002



SYMBOLS

-  WETLAND
-  TREE LINE
-  TREES
-  GRASS
-  EXISTING STRUCTURE
-  NEW CONSTRUCTION
-  EXISTING IMPERMEABLE PAVEMENT
-  NEW PERMEABLE PAVERS

SPATIAL COMPOSITION

TOTAL LOT:	110,139.77 square feet
EXISTING STRUCTURE FOOTPRINT:	9771.14 square feet
PROPOSED ADDITION FOOTPRINT:	3400 square feet
TOTAL STRUCTURE FOOTPRINT:	9771.14 square feet
EXISTING PAVED FOOTPRINT:	6540 square feet
PROPOSED PERMEABLE HARDSCAPE:	0 square feet
REFER TO CIVIL DRAWINGS	

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Site Plan

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A100

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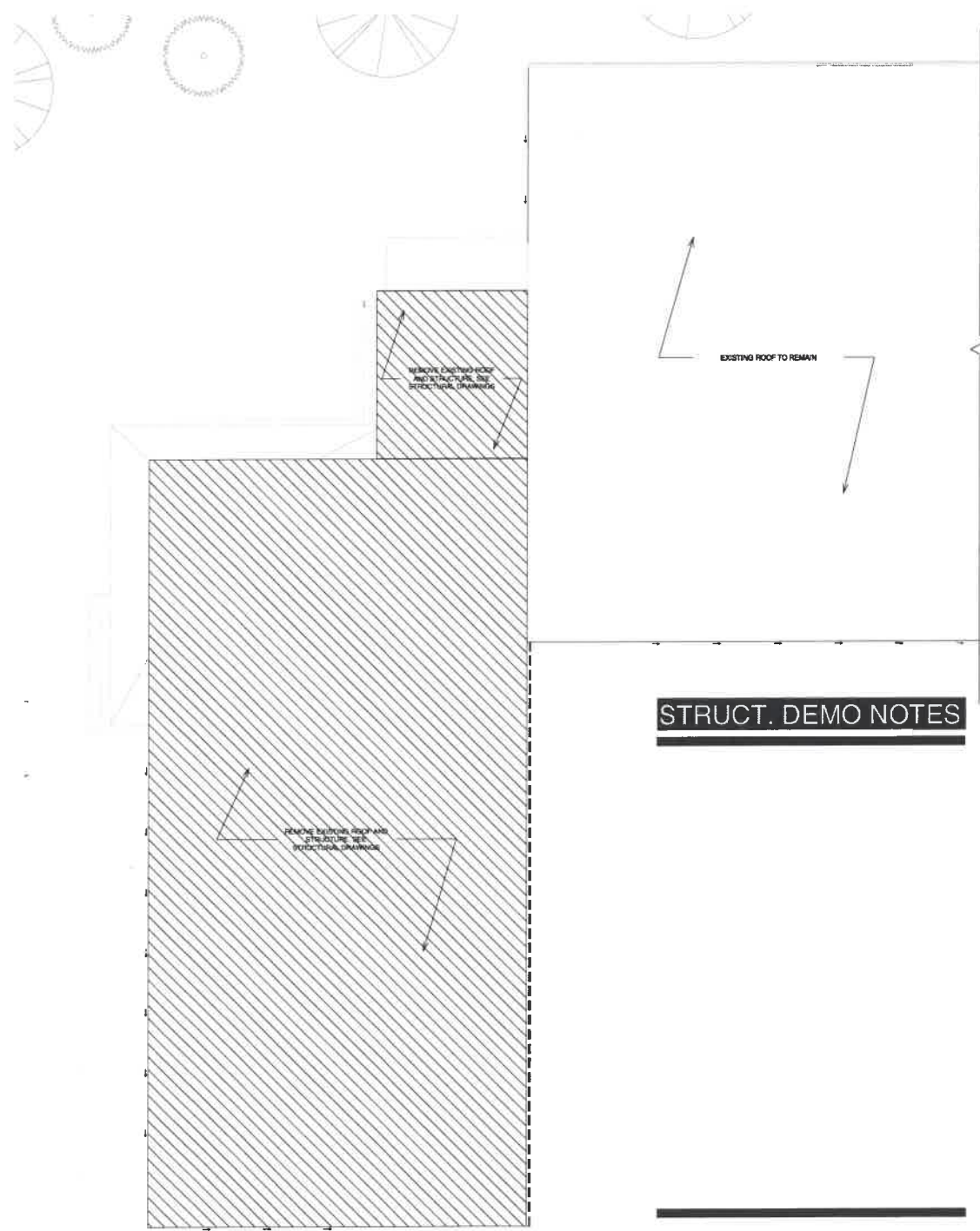
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No.	Date	Revision

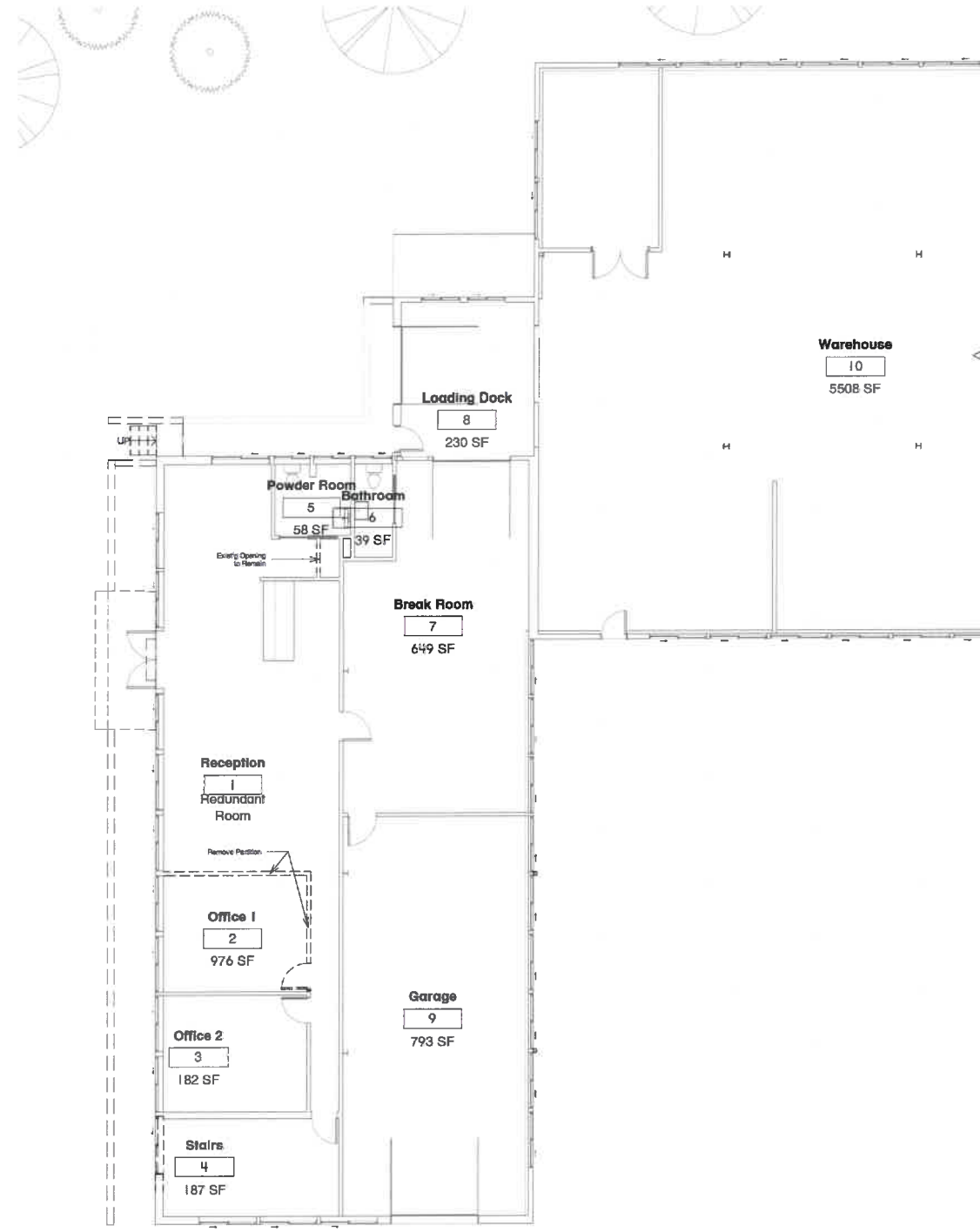
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Demo Plan

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Date: 07/27/2022
Sheet

D100



2 Roof Demo Plan
1/8" = 1'-0"



1 First Floor Demo Plan
1/8" = 1'-0"

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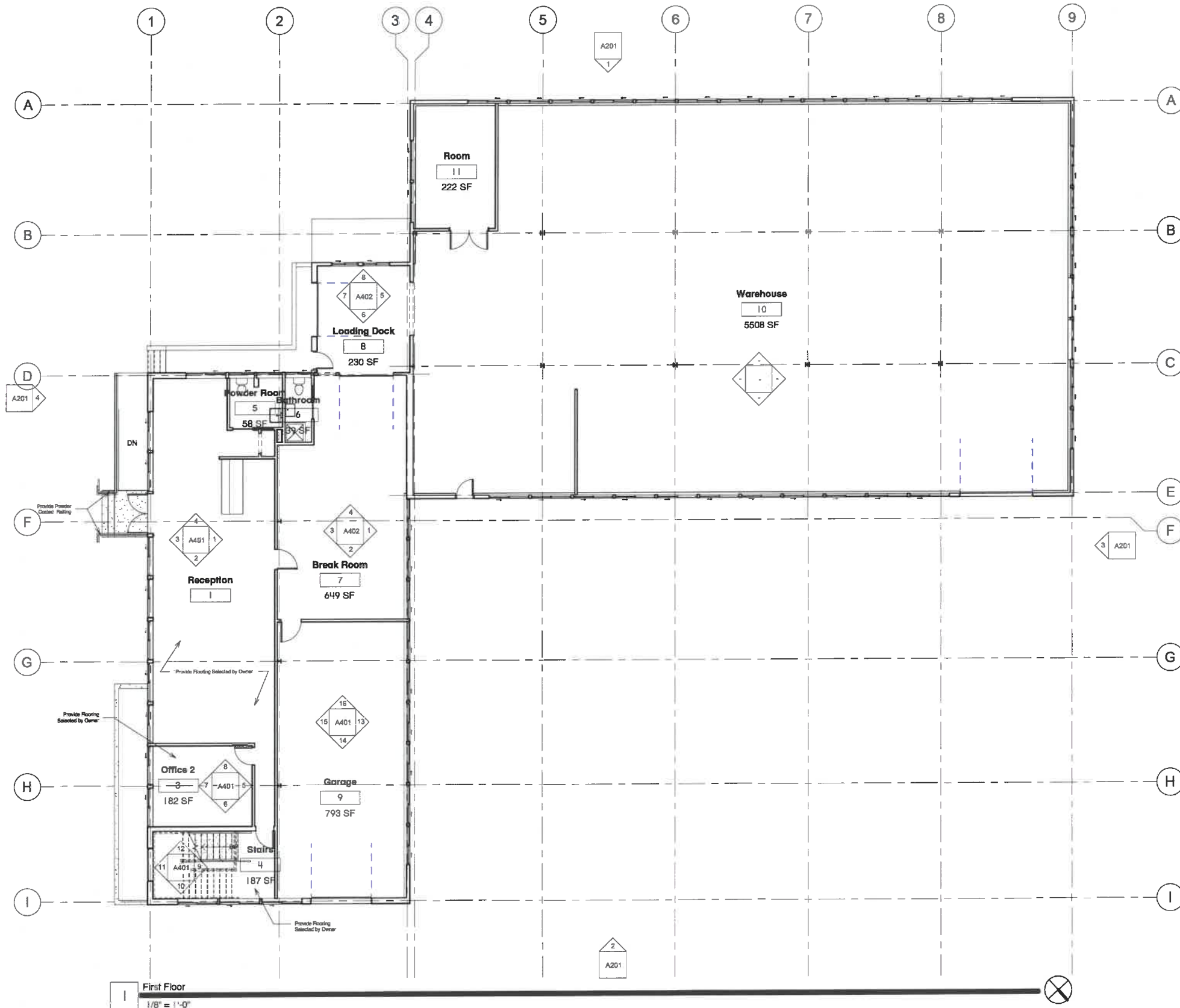
First Floor Plan

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A101



First Floor

1/8" = 1'-0"

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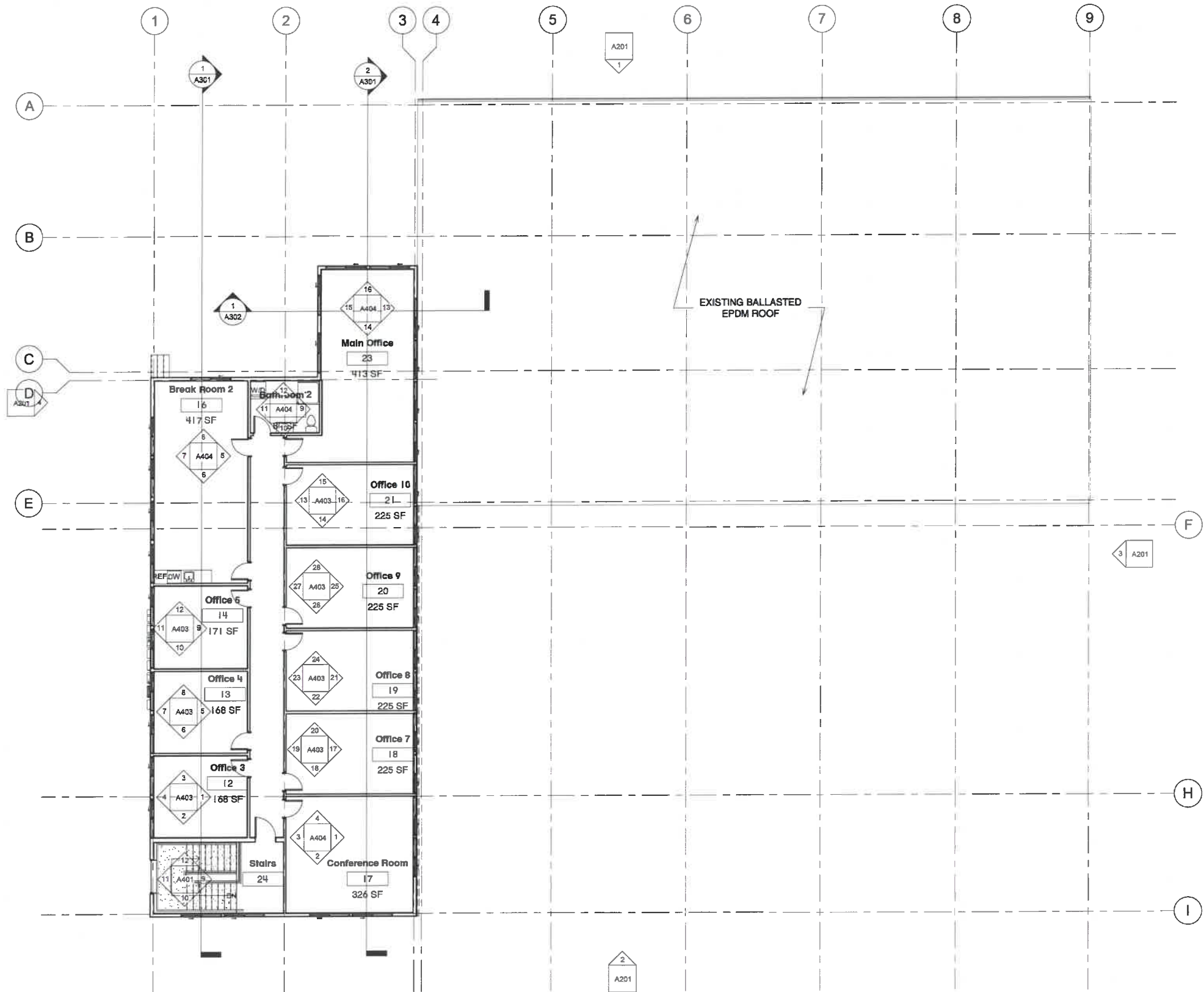
**Second Floor
Plan**

Scale: As indicated

Date: 07/27/2022

Sheet

A102



Proposed Level 2
1/8" = 1'-0"

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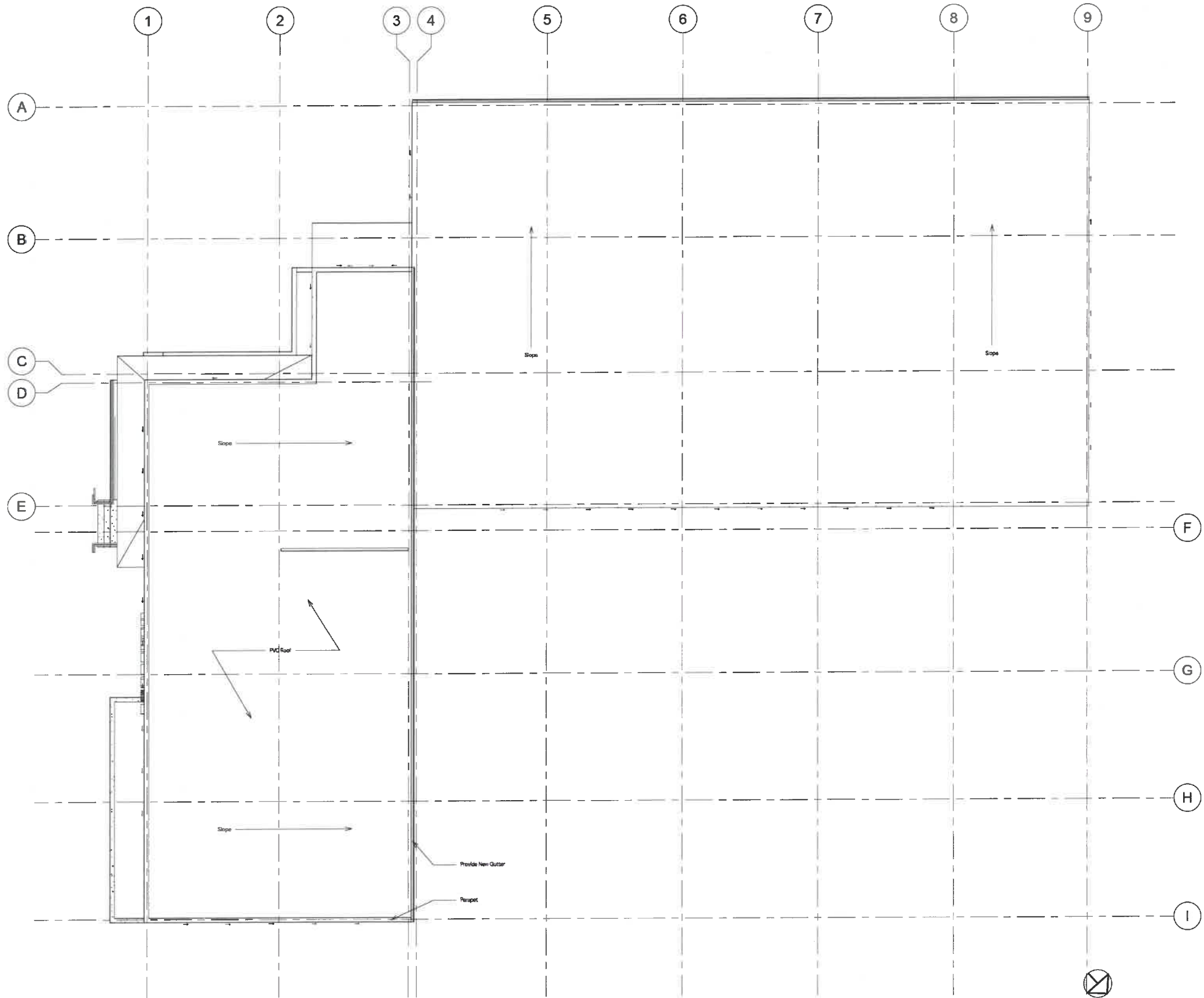
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Roof Plan

Scale: 1/8" = 1'-0"

Date: 07/27/2022

Sheet



I Proposed Roof
1/8" = 1'-0"

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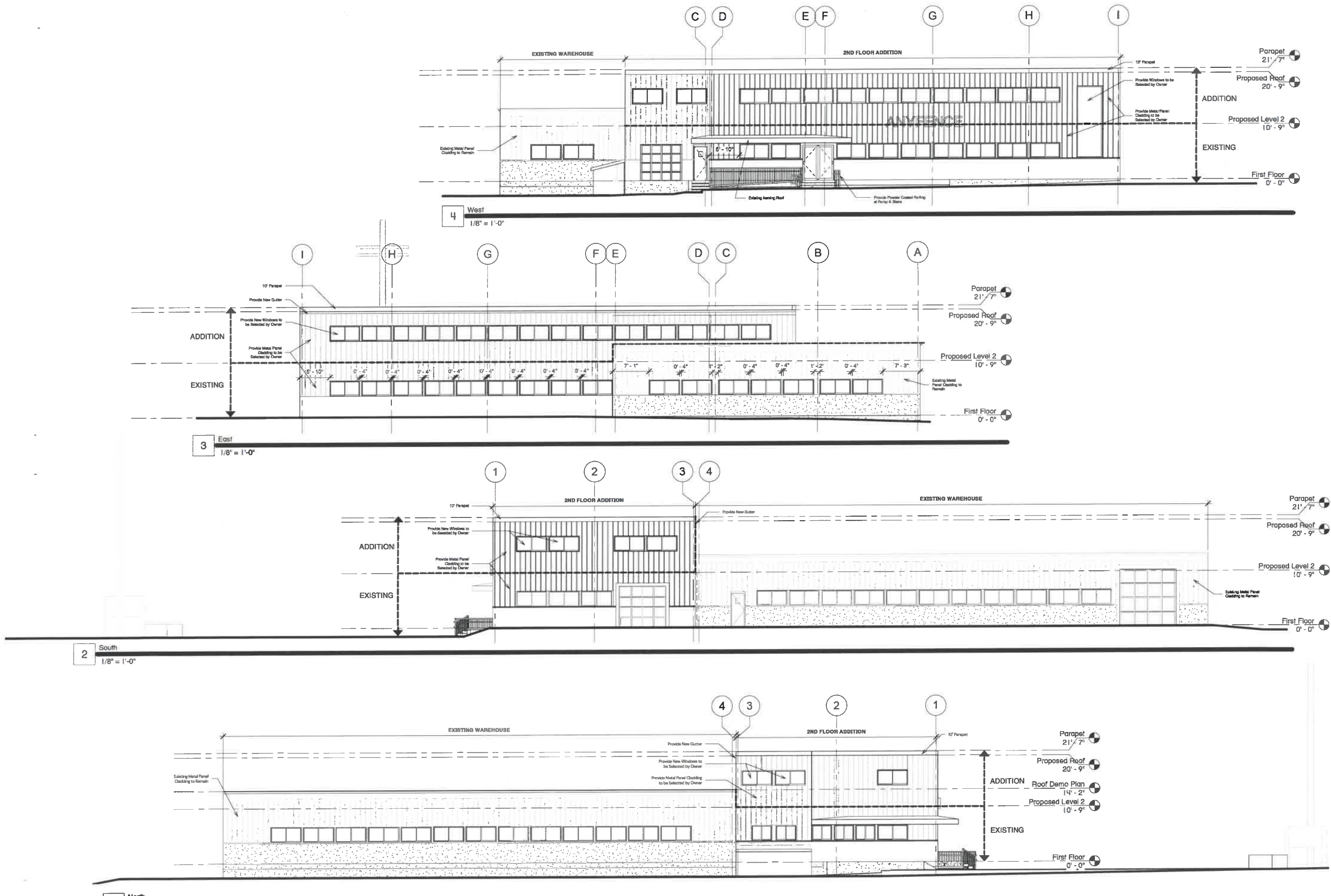
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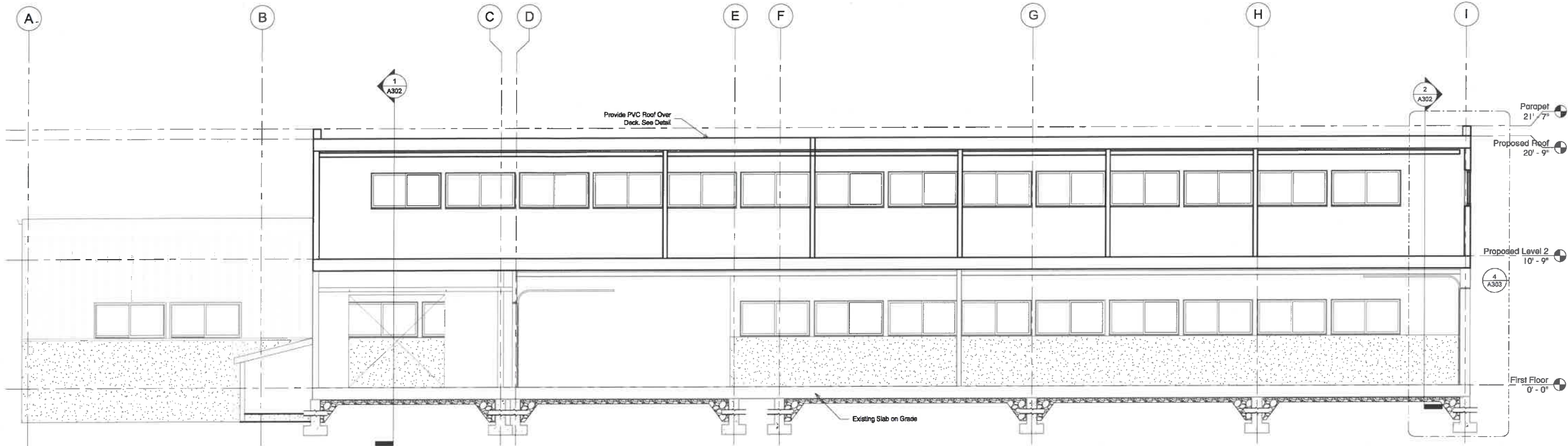
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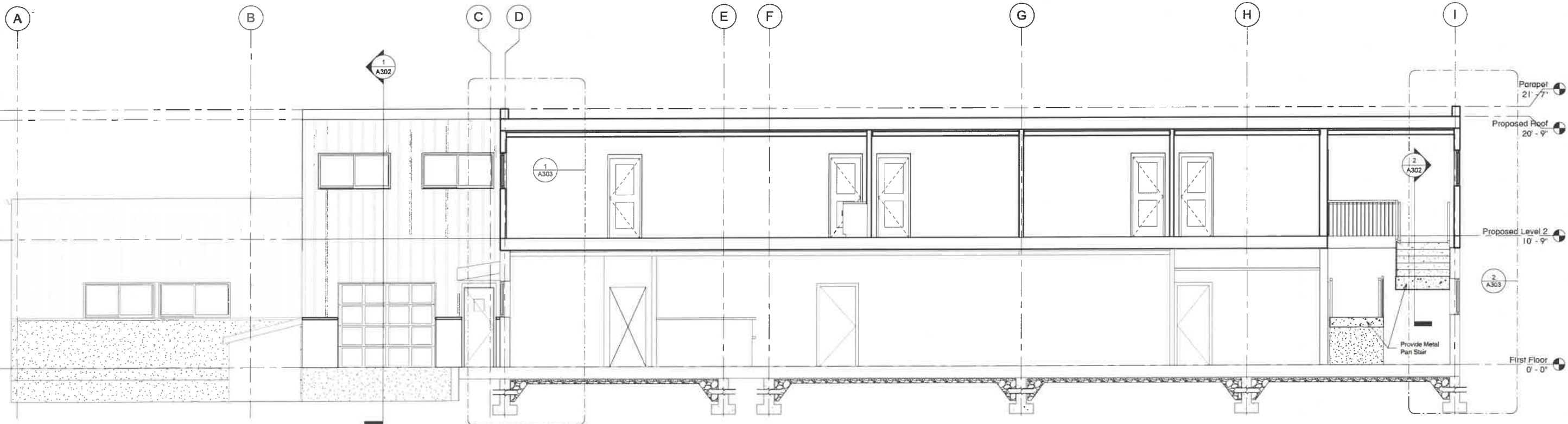
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A201





2 Section 3
1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"

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**Building
Sections**

Scale: 1/4" = 1'-0"

Date: 04/26/22

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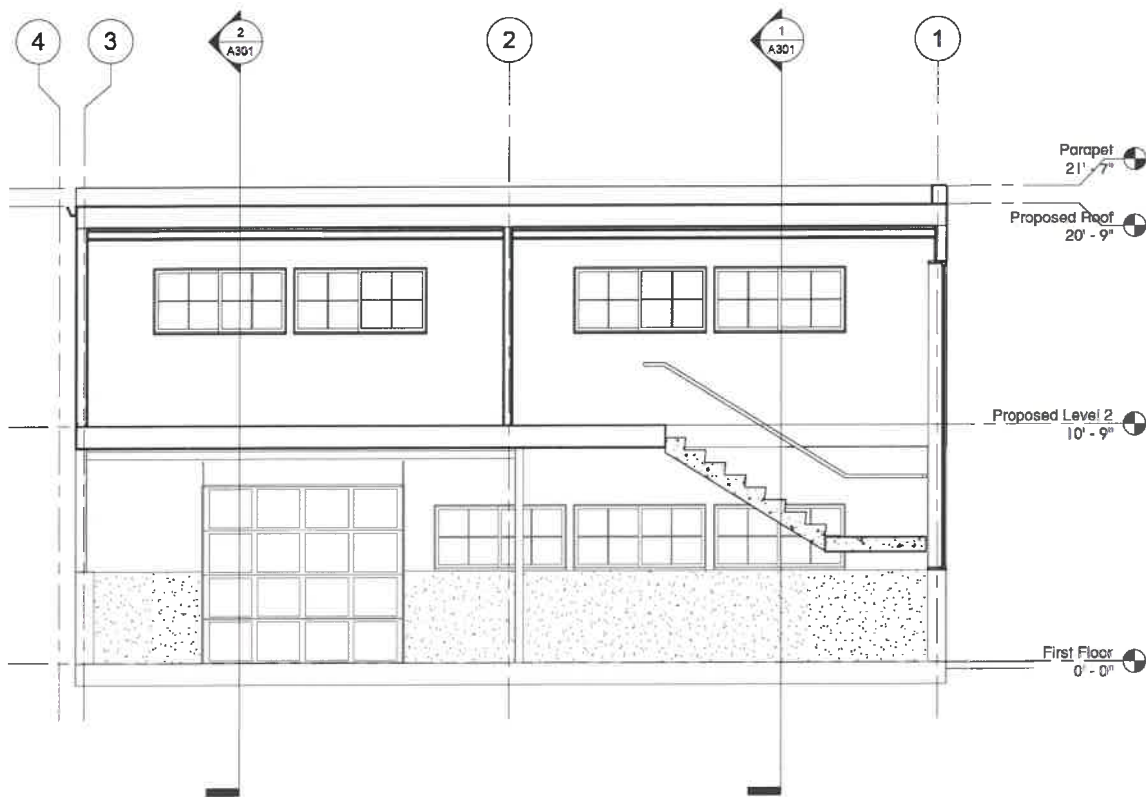
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Sections

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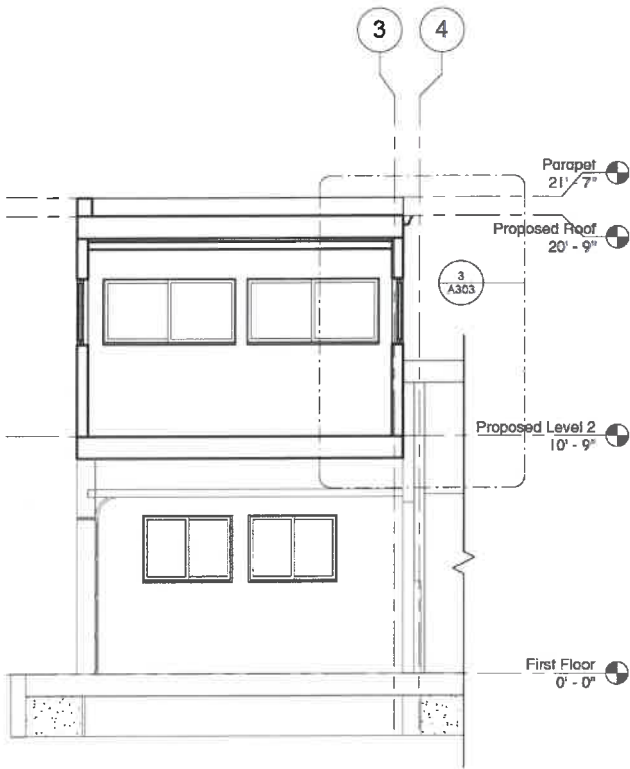
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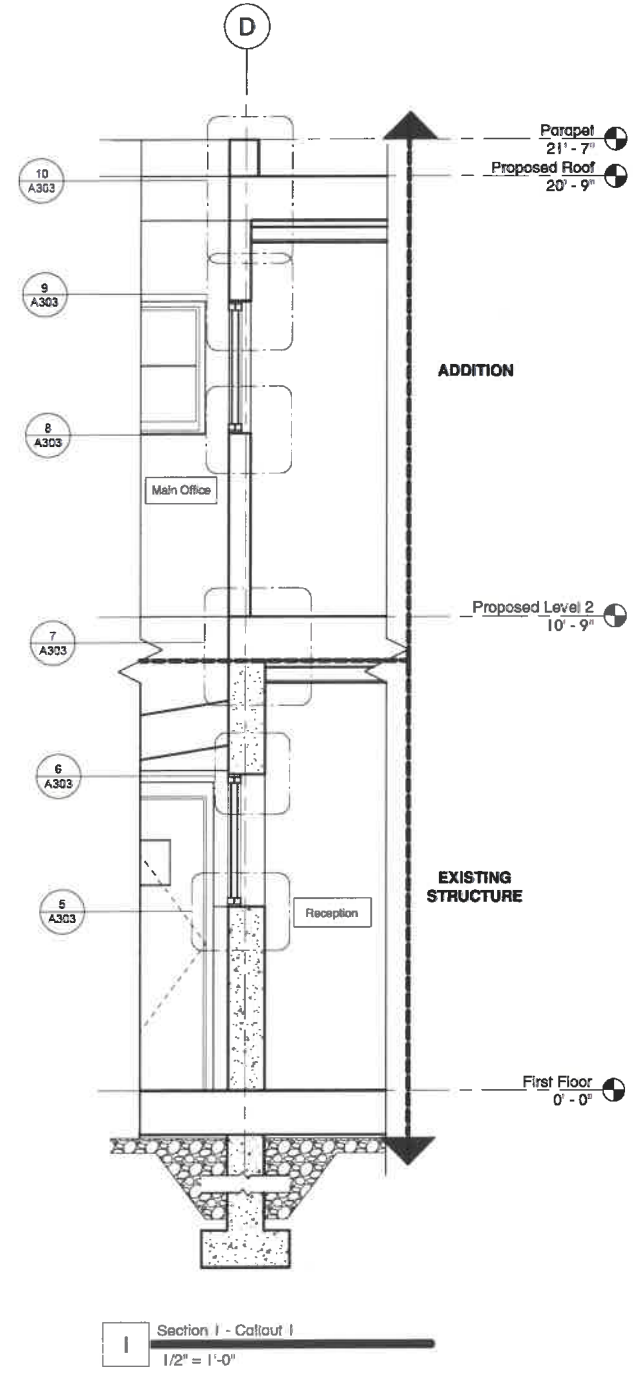
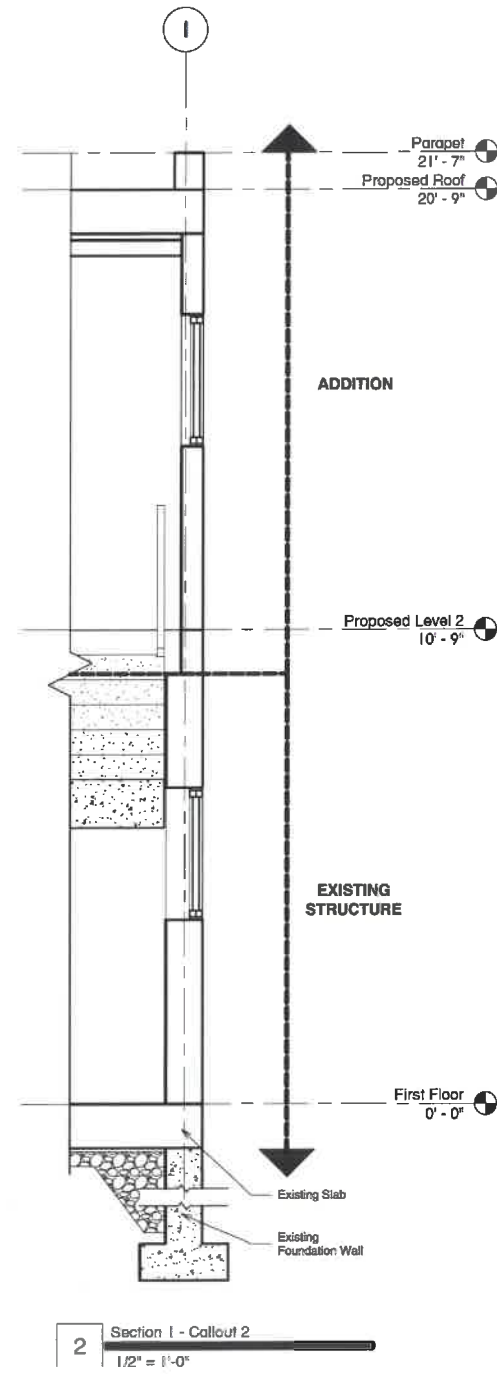
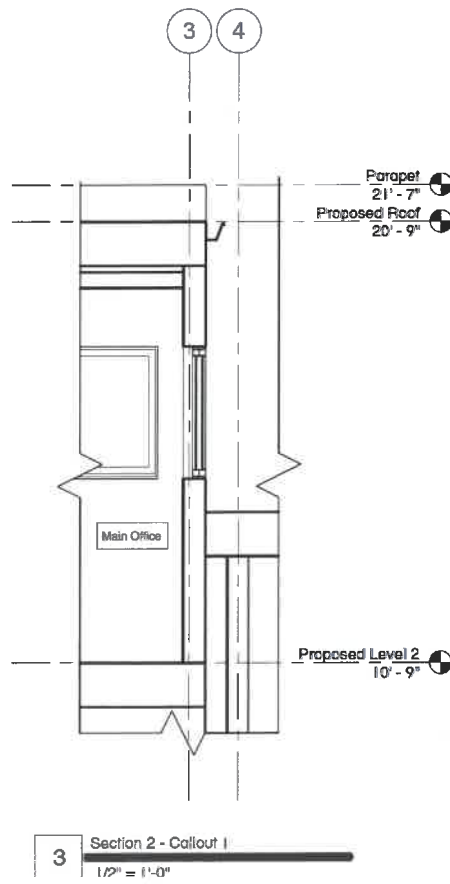
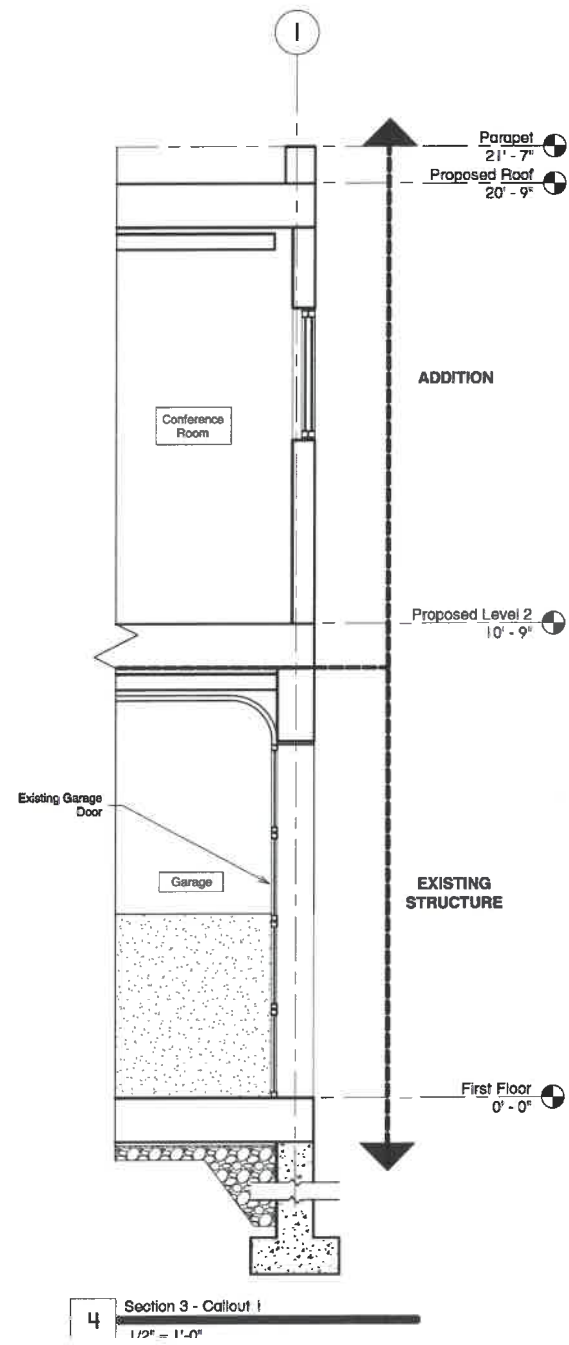
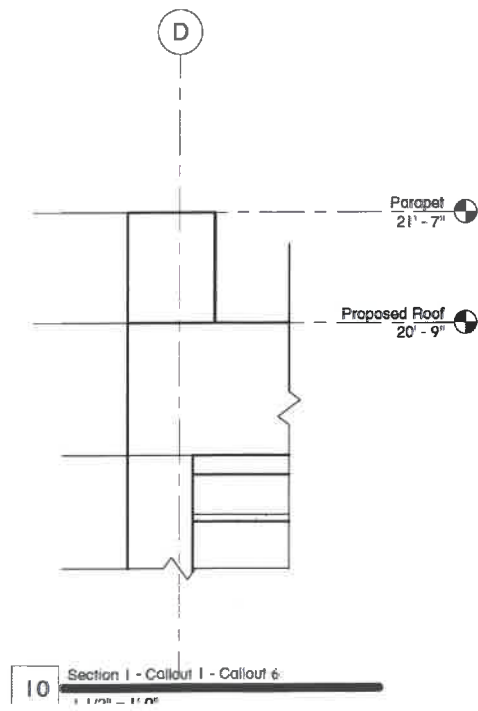
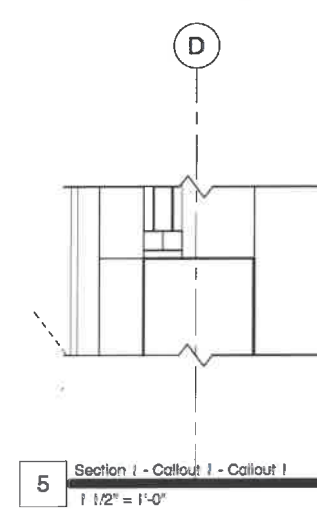
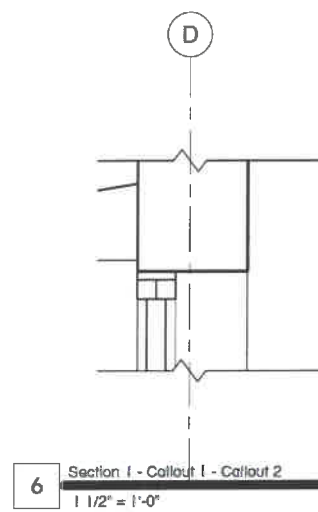
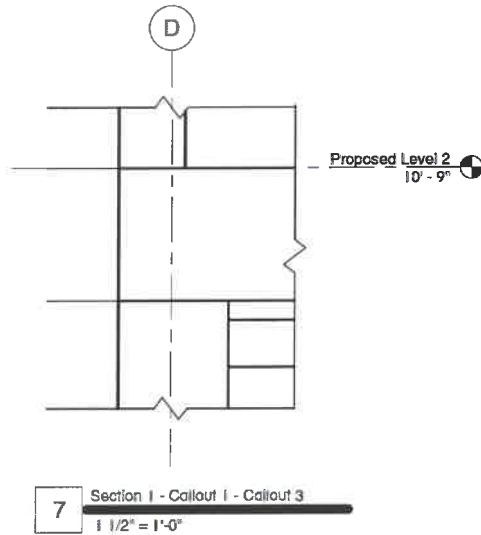
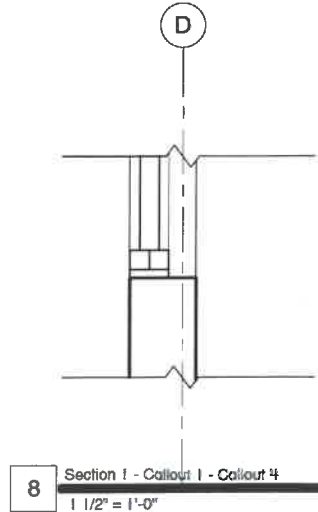
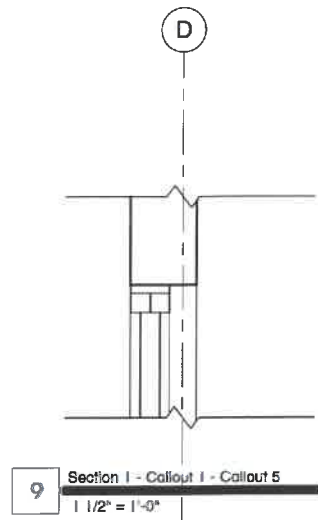
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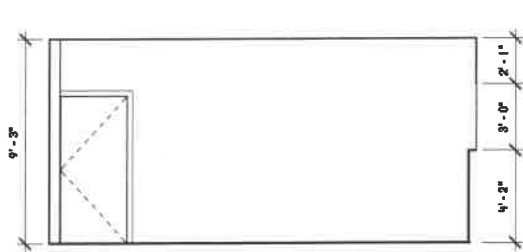
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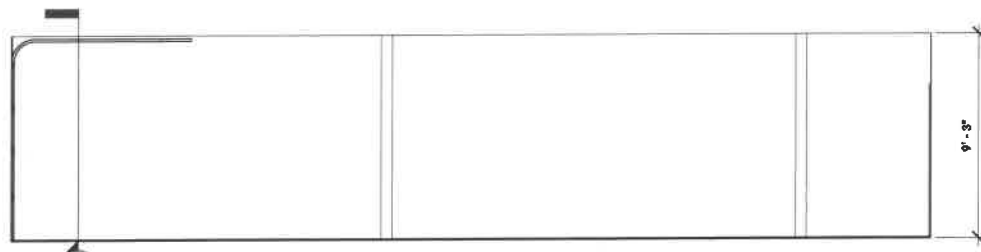
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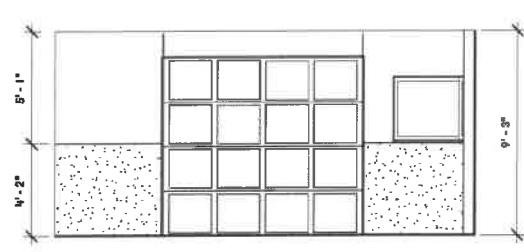
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No.	Date	Revision



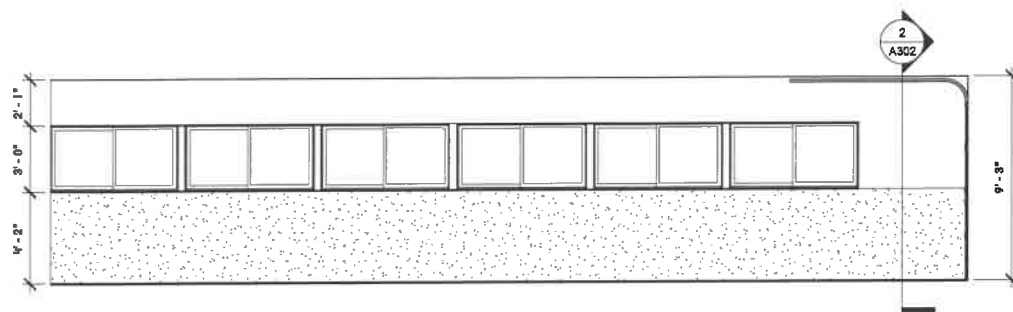
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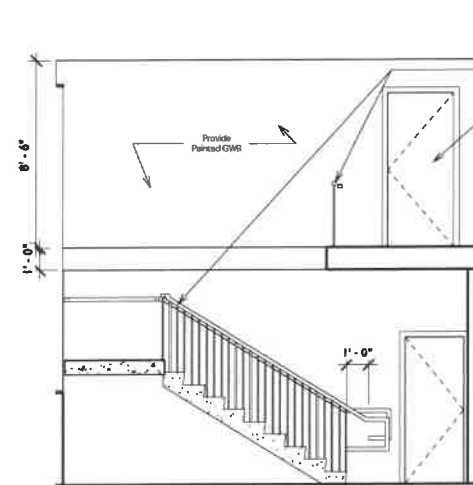
15 Garage-Facing East
1/4" = 1'-0"



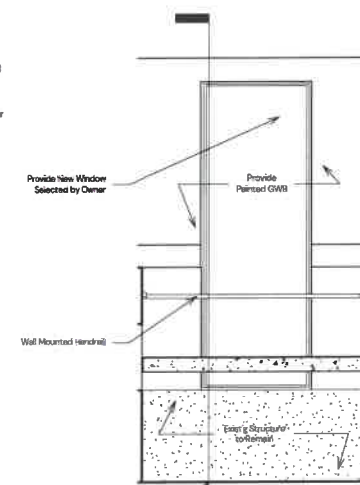
14 Garage-Facing North
1/4" = 1'-0"



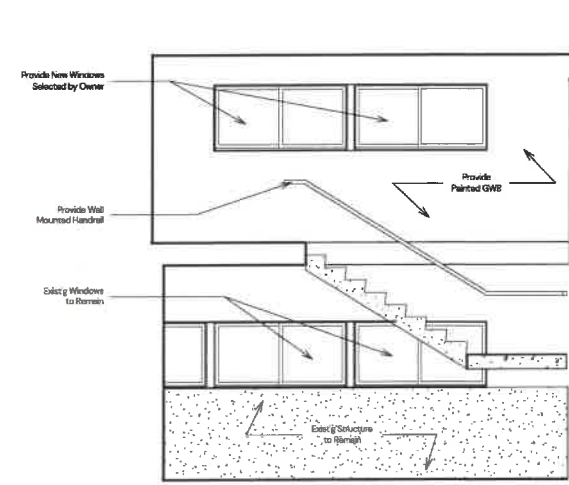
13 Garage-Facing West
1/4" = 1'-0"



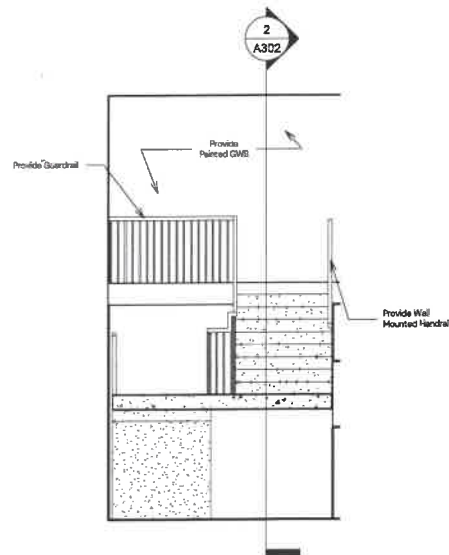
12 Stairs-Facing South
1/4" = 1'-0"



11 Stairs-Facing East
1/4" = 1'-0"



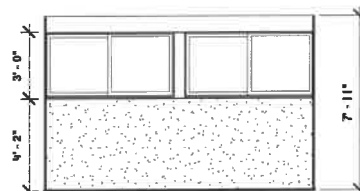
10 Stairs-Facing North
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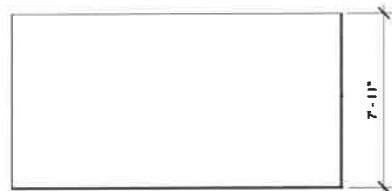
9 Stairs-Facing West
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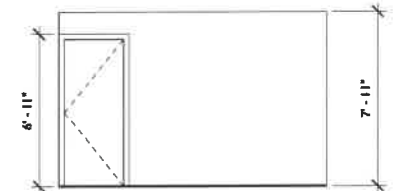
8 Office 2-Facing South
1/4" = 1'-0"



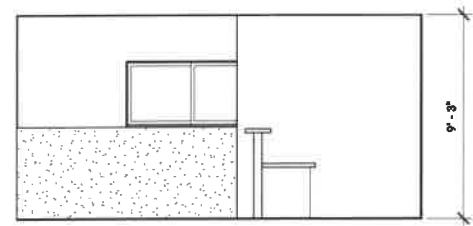
7 Office 2-Facing East
1/4" = 1'-0"



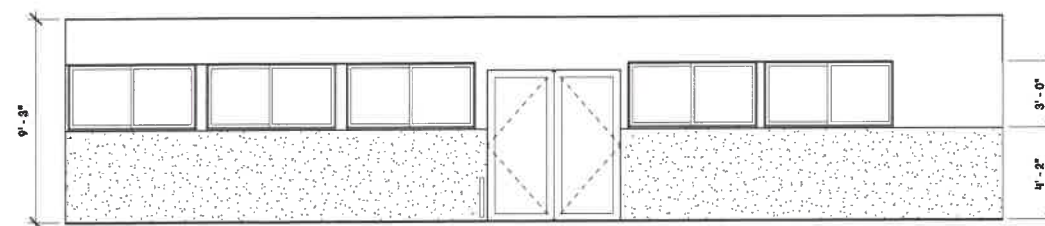
6 Office 2-Facing North
1/4" = 1'-0"



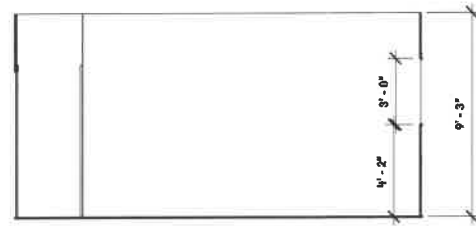
5 Office 2-Facing West
1/4" = 1'-0"



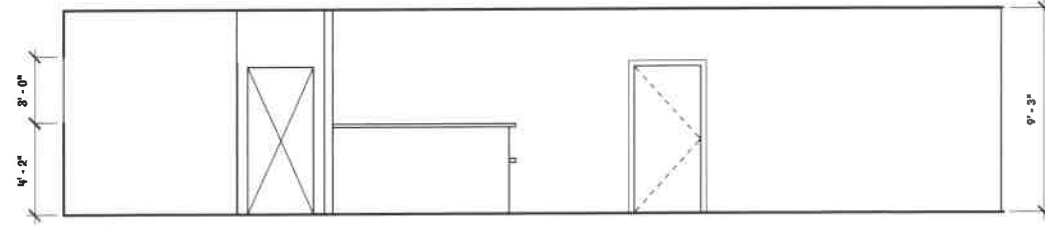
4 Reception-Facing South
1/4" = 1'-0"



3 Reception-Facing East
1/4" = 1'-0"



2 Reception-Facing North
1/4" = 1'-0"



1 Reception-Facing West
1/4" = 1'-0"

Client

Anyfence

1485 Washington St
Holliston, MA 01746

Consultant

Project

**Anyfence
Offices**

Location:
1485 Washington St
Holliston, MA 01746

MCA Project #: 22-012

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Revisions

No.	Date	Revision

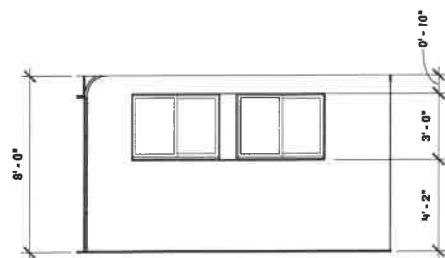
Drawing

**Interior
Elevations Level
1**

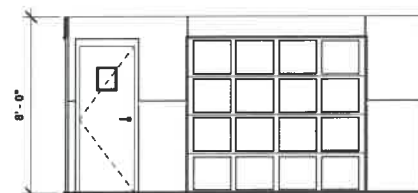
Scale: 1/4" = 1'-0"

Date: 07/27/22

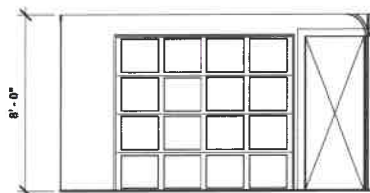
Sheet



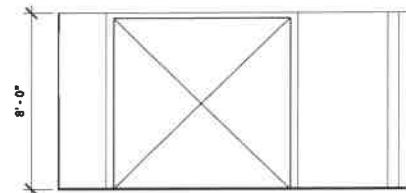
8 Loading Dock-Facing South
1/4" = 1'-0"



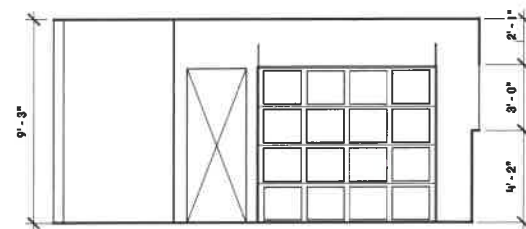
7 Loading Dock-Facing East
1/4" = 1'-0"



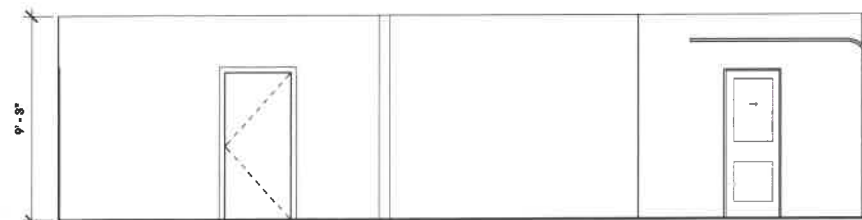
6 Loading Dock-Facing North
1/4" = 1'-0"



5 Loading Dock-Facing West
1/4" = 1'-0"



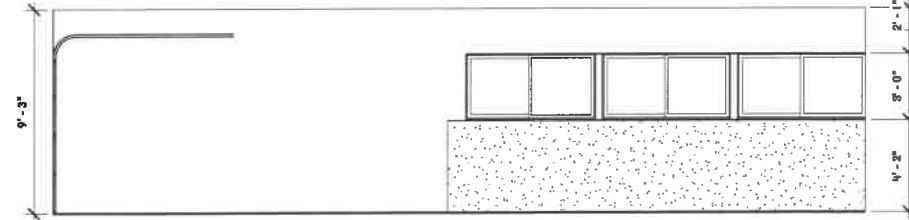
4 Break Room- Facing South
1/4" = 1'-0"



3 Break Room- Facing East
1/4" = 1'-0"



2 Break Room- Facing North
1/4" = 1'-0"



1 Break Room- Facing West
1/4" = 1'-0"

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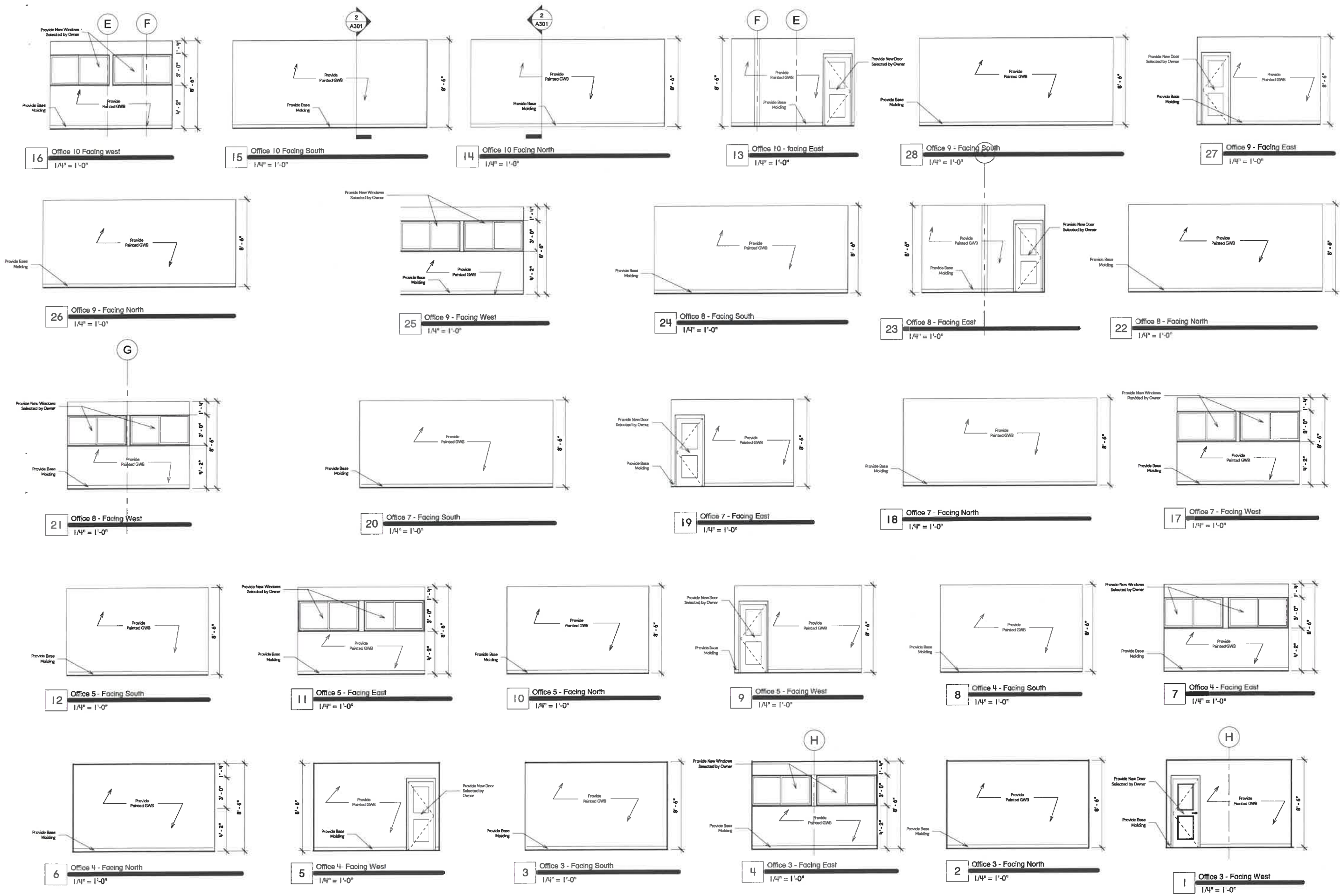
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Drawing
**Interior
Elevations
Level 2**

Scale: 1/4" = 1'-0"
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Drawing

**Interior
Elevations
Level 2**

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