

Client

Anyfence

1485 Washington St  
Holliston, MA 01746

Consultant

Project

Anyfence  
Offices

Location:  
1485 Washington St  
Holliston, MA 01746

MCA Project #:  
22-012

Stamp

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Revisions

No.	Date	Revision

Drawing

Cover Sheet

Scale: As indicated

Date: 04/07/2023

Sheet

G000

# AnyFence Offices

1485 Washington st Holliston, MA. 01746

## ILLUSTRATION



## PROJECT TEAM

**ARCHITECT**  
MATZ COLLABORATIVE  
ARCHITECTS INC.  
50 SPEEN STREET, SUITE 300  
FRAMINGHAM, MA. 01701

**CIVIL ENGINEER**  
CDW CONSULTANTS  
4 CALIFORNIA AVE.  
FRAMINGHAM, MA 01701

**STRUCTURAL ENGINEER**  
SEACOAST STRUCTURAL  
ENGINEERS LLC  
5 DOGTOWN ROAD  
EXETER, NH. 03833

## DRAWING LIST

**GENERAL**  
G000 COVER SHEET  
G001 GENERAL NOTES  
G002 CODE SUMMARY

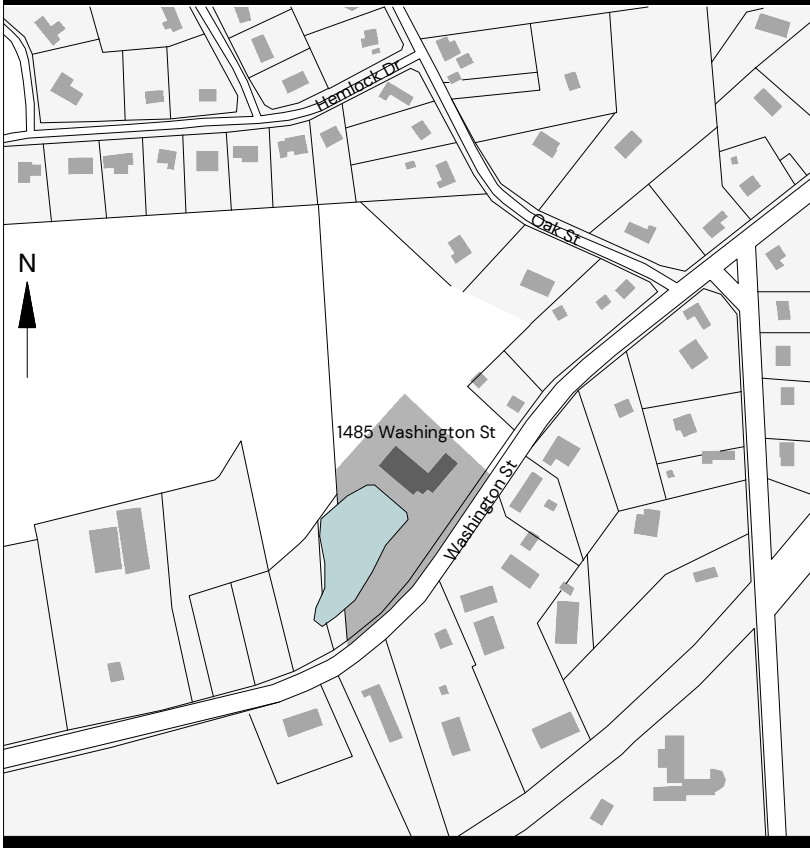
**CIVIL**  
C-1.0 DEMOLITION AND EROSION CONTROL PLAN  
C-2.0 LAYOUT AND MATERIALS PLAN  
C-3.0 GRADING AND DRAINAGE PLAN  
C-4.0 CONSTRUCTION DETAILS  
C-4.1 CONSTRUCTION DETAILS  
C-4.2 CONSTRUCTION DETAILS

**ARCHITECTURAL**  
D100 DEMO PLAN  
A100 ARCHITECTURAL SITE PLAN  
A101 LEVEL 1 FLOOR PLAN  
A102 LEVEL 2 FLOOR PLAN  
A103 ROOF PLAN & DETAILS  
A201 EXTERIOR ELEVATIONS

STRUCTURAL

MECHANICAL

## LOCUS PLAN



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General Notes

Scale: 1" = 1'-0"

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G001

GENERAL NOTES

1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM A PLAN ENTITLED \_\_\_\_ PREPARED BY \_\_\_\_ DATED \_\_\_\_.
2. FLOODPLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP [FIRM] NO. \_\_\_\_\_, DATED \_\_\_\_\_. THE SITE IS IN ZONE \_\_\_\_\_, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS TO NATURAL GAS PIPELINE COMPANIES AND MUNICIPAL UTILITY COMPANIES THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRATOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
4. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS "JACKIE'S LAW", AS DETAILED IN SECTION 520, CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS, AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
6. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/ OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND [ENGINEERING FIRM]. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL, THROUGHOUT CONTSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS, AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE, OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
9. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
11. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.



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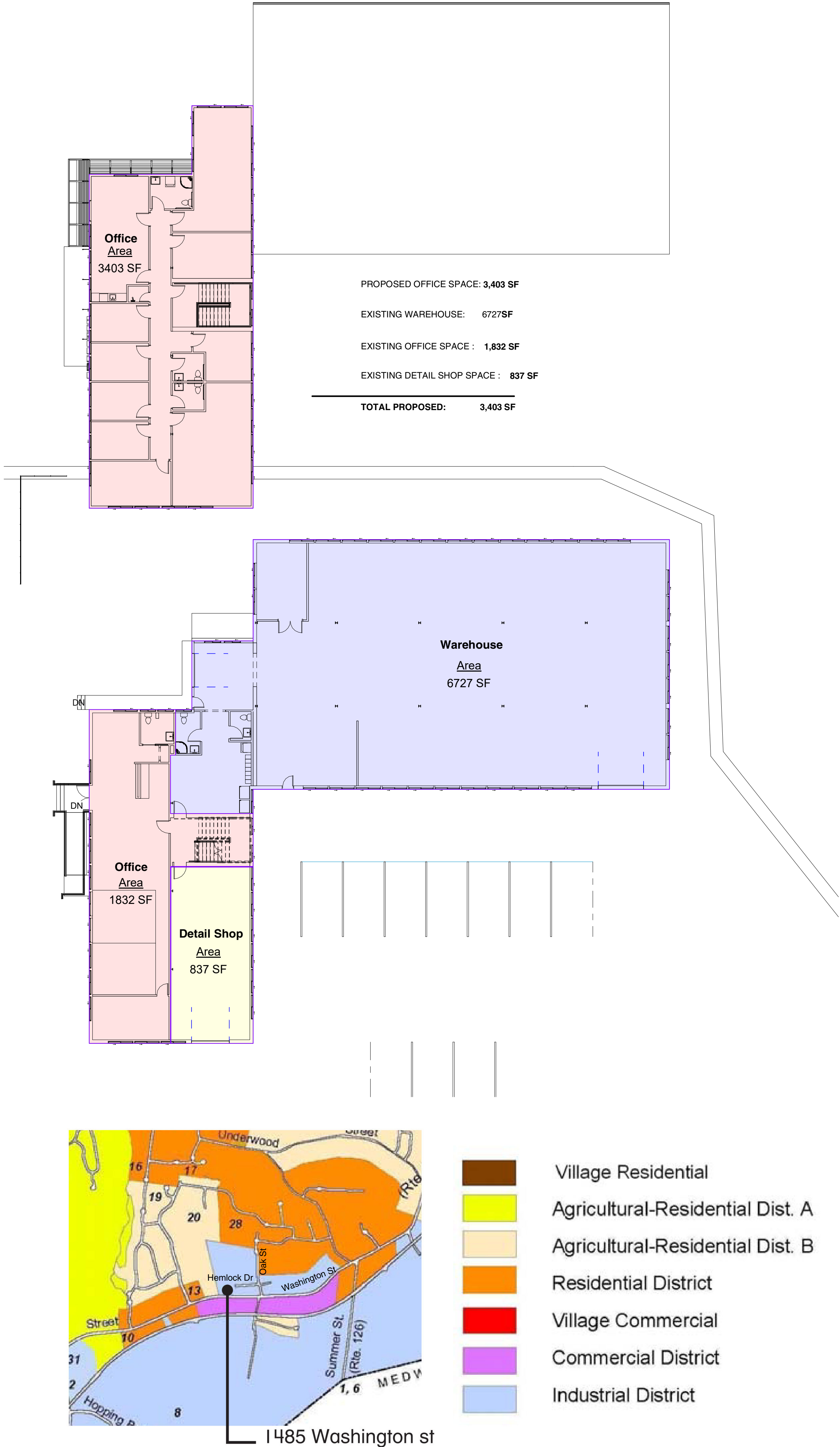
Date: 04/07/2023

Sheet

G002

Zoning	Zoning Standards	Existing	Proposed
Acceptable By-Law	Town of Holliston Zoning Laws - Adopted JUNE 3, 1953 with amendments Through MAY 9, 2022		
Zoning District	Industrial		
Use Group	General Service Establishment		
Building Area	55,672 GSF (total lot area)	9,396 GSF	12,799 GSF
Existing Warehouse		6,727 GSF	6,727 GSF
Office / Sales		1,832 GSF	5,235 GSF
Auto Detail		837 GSF	837 GSF
Building Occupants			10 people
Dimensional Requirements		Existing	Proposed
Minimum Lot Area	20,000	11,344	11,344
Minimum Lot Frontage	100 ft	482.7 ft	482.7
Front Yard Depth per Table 5.4.2	30 ft	61.4 ft	61.4
Side Yard Depth	20 ft	20.5 R/ 80 L	20.5.R / 80 L
Rear Yard (Lot < 100' deep)			
Maximum Lot Coverage	40% (Building, Structures & Accessory Buildings)	8.5% (9,488 SF)	8.5% (9,488 SF)
Maximum Height	40 ft / 3 Stories	15' / 1 Story	23' / 2 Stories
Max Floor Area Ratio (FAR)	50%	9% (9,488 SF)	12% (12,425 SF)
Accessory Uses (II.H.12)	Special Permit Required	N.A.	
Outdoor Storage			
Parking			
Number of spaces (per V-C.i)	Other Uses: number of spaces to be determined by the Planning Board	undetermined	23 spaces total: 13+10 Truck spaces
			Occupants: 9 offices 1 Auto Detail
Dimensions of spaces (min)	9' x 18'		
Paved (bituminous)			Paved 9' x 18'
Setback from lot lines (>5 spaces)	5' min. landscaped setback (10% of lot landscaped if >40 spaces)		5' setback
Accessible Spaces (521 CMR)	1/25 8'w + 5'w aisle		1 space
Bicycle Parking	1 /20 parking spaces		1 space

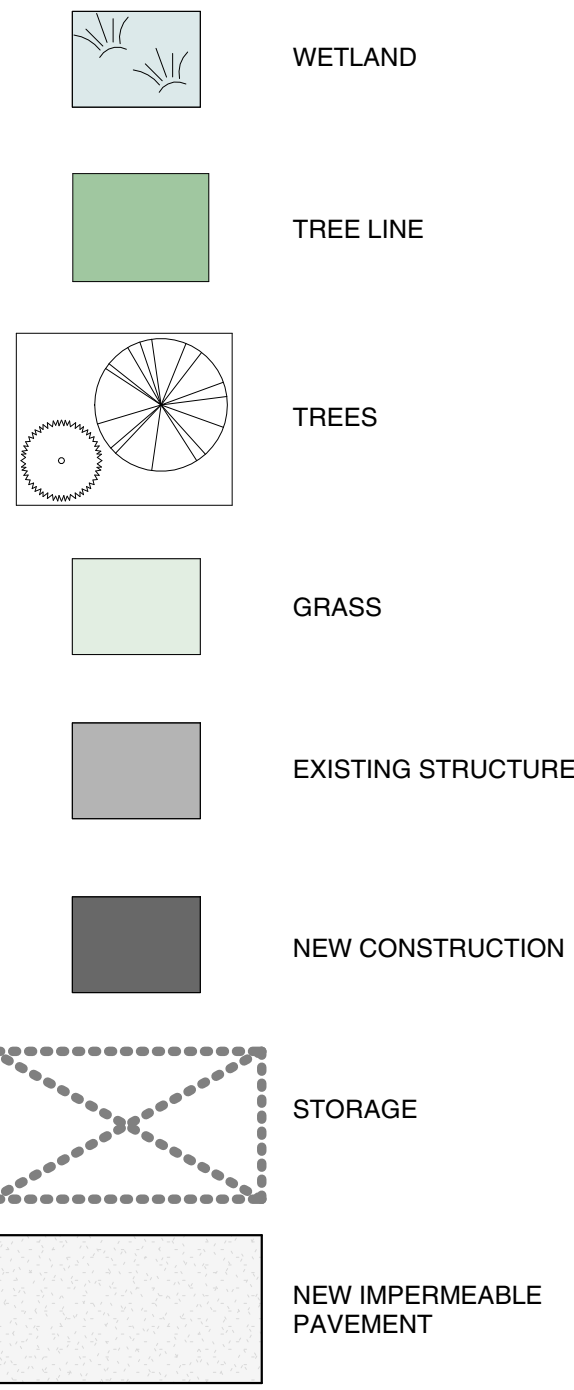
Building Code	Existing	Proposed
Applicable Building Code	MA 780 CMR 9th Edition Base Building Code (Commercial) with amendments	
Referenced Code	2015 IEBC	
Energy Code	2018 IEBC & MA Stretch Code	
Electrical / Fire Prevention Code	MA 527 CMR	
Plumbing Code	MA 248 CMR	
Architctural Access Board regs.	MA 521 CMR	
Building Use Group Classification (IBC 2015 Section 311.2) *note Auto Detailing = Prof Svcs	Mixed Use S1 - Storage B - Business / Offices B -- Professional Services	Mixed Use S1-Storage (Mod. Hazard) B - Business / Offices B -- Professional Services
Year Constructed	1950's	TBD
Construction Type (Table 601)	5B	5B or 3B
Building Height and Area	Maximum Allowed	Proposed
• Allowable Height (Table 504.3)	40' (5B) or 55' (3B)	
• Allowable Stories (Table 504.4)	2 (5B) or 3 (3B)	
Proposed Height / Stories		
Allowable Floor Area (Ea. Story) (Table 506.2) based on F-1	12,000 (3B)	8,500 (5B) 11,845 SF w/ allowance
Fire Resistance Rating	Min. Required	Proposed
Sprinklers / Fire Suppression 2015 IBC Section 903.2.9.1&2 Chapter 148 Section 26G	5B = none	
Fire Alarm System 527 CMR 1.00	Not required	Required Throughout To be provided per reqmts. Of 527 CMR 1.00
Building Envelope IECC 2018 Table C402.1.3 Climate Zone 5	Min. Required	Proposed
Opaque Thermal Envelope R-values		
• Roof (insulation above deck)		Insulation R-30ci
• Roof (Metal Buildings)		R-19+R11 LS
• Wall above grade (Mtl. Bldg.)		R-13 + R13ci
• Wall above grade (Mtl. Framed)		R-13 + R7.5ci
• Slab on grade (Unheated Floors)		R-10 for 24" below R-4.5
• Opaque Doors (non-swinging)		
Fenestration U-factor		
• Fixed	.38	
• Operable	.45	
• Entrance Doors	.77	
Fenestration SGHC		
Based on Projection Factor	<.2 / .2-.5 / >.5	
(Table C402.4) Orientation S/E/W	.38 .46 .61	
Orientation N	.51 .56 .61	
Plumbing Fixtures (MA 248 CMR 4-30-2021) Per Section 10.10 Table 1- Employee Non-industrial (bus tot)	Toilets f m	Lavs (per ea. sex)
60 occupants (30 f / 30 m)	1/20 1/25	1/40
Employee Storage - Warehouse 14 occupants (Factory)	2 2	2
TOTAL FIXTURES EA TYPE	1/15 1/20 1/30	Shower 1/15
	3 3 3	2 SS & 1 shower





No.	Date	Revision

SYMBOLS

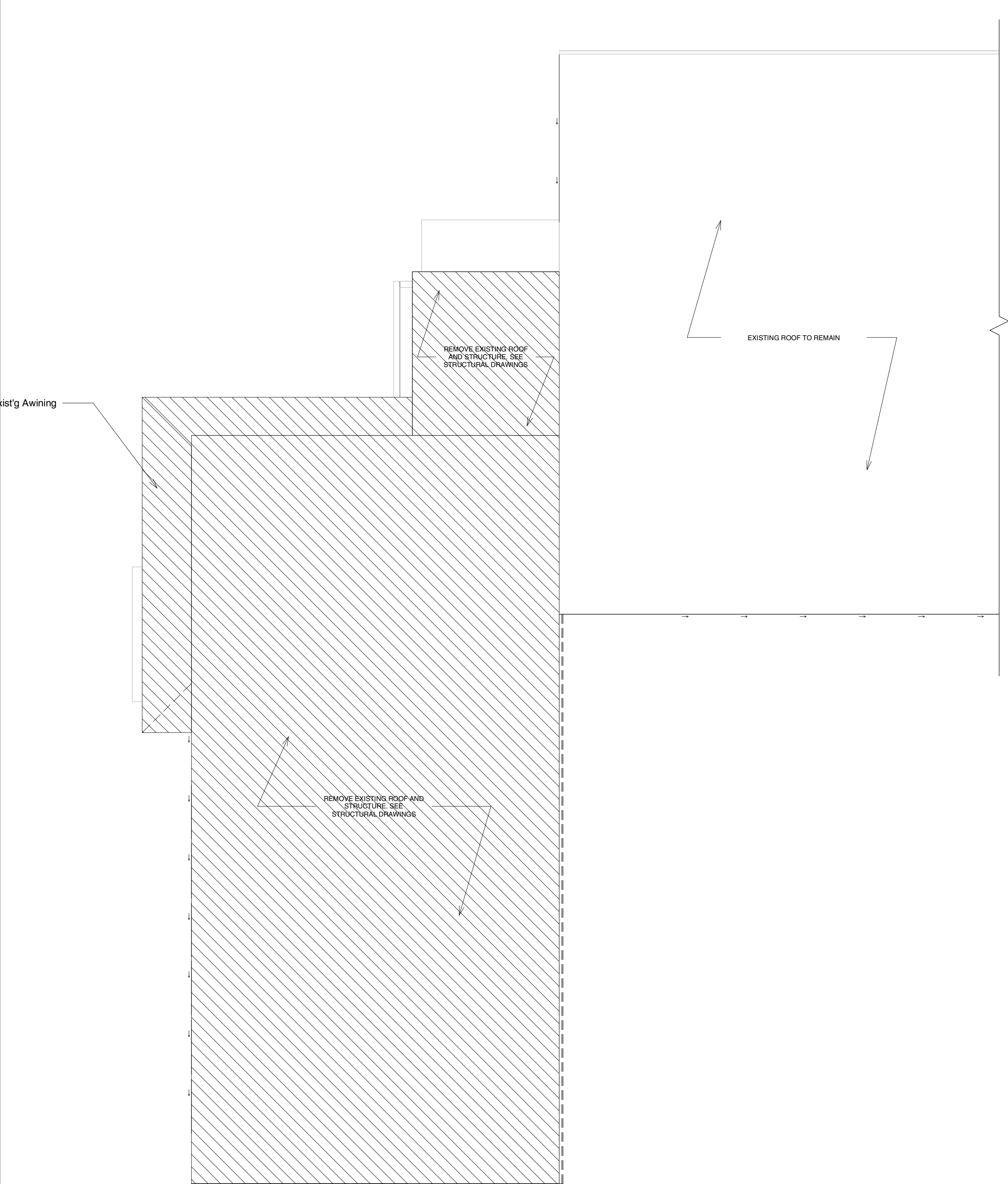


SPATIAL COMPOSITION

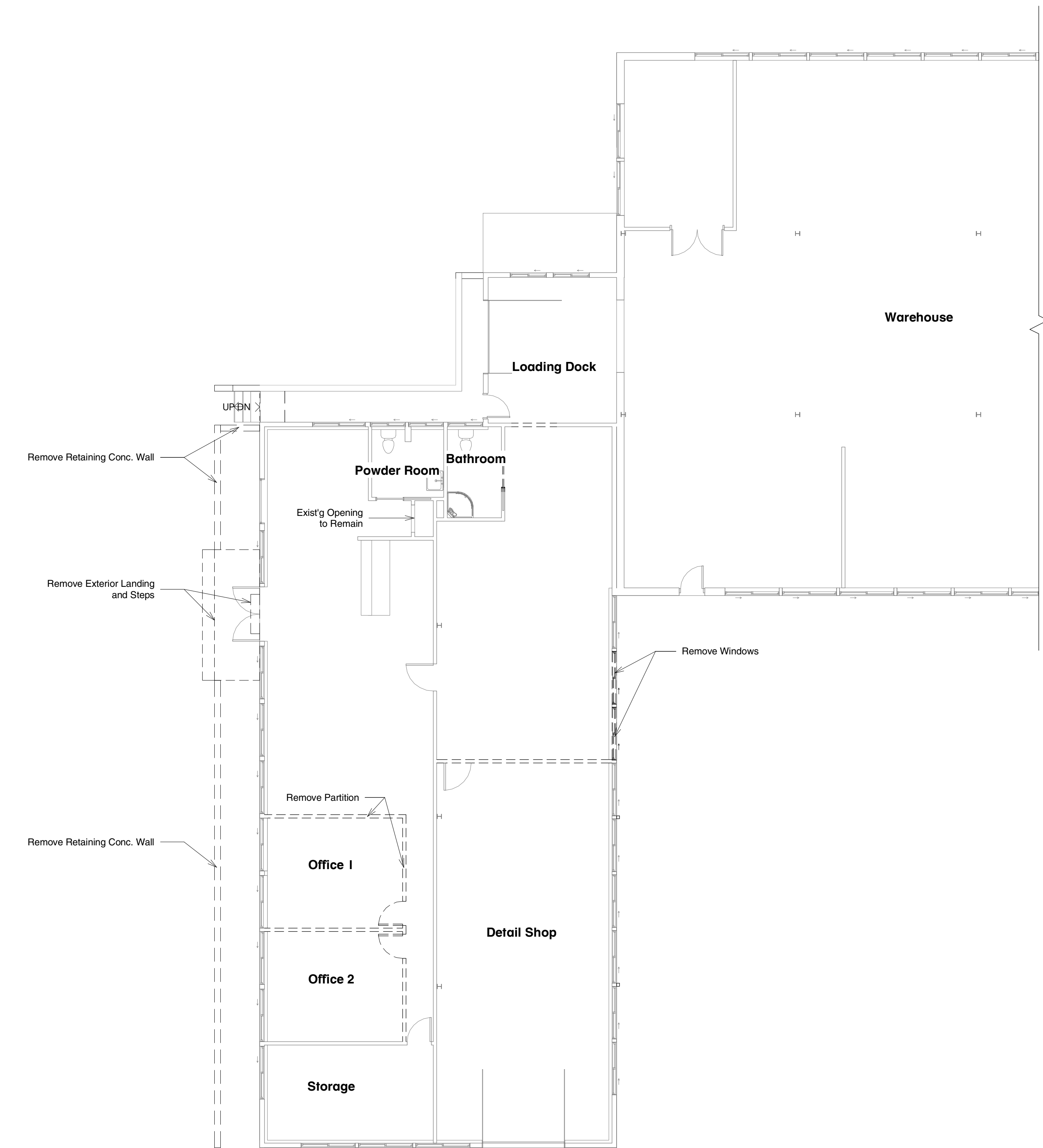
TOTAL LOT:	110,139.77 square feet
EXISTING STRUCTURE FOOTPRINT:	9771.14 square feet
PROPOSED ADDITION FOOTPRINT:	3400 square feet
TOTAL STRUCTURE FOOTPRINT:	9771.14 square feet
EXISTING PAVED FOOTPRINT:	6540 square feet
PROPOSED PERMEABLE HARDSCAPE:	0 square feet
REFER TO CIVIL DRAWINGS	







2 Roof Demo Plan  
1/8" = 1'-0"



I Level I Demo Plan  
1/8" = 1'-0"

DEMO NOTES

STRUCT. DEMO NOTES

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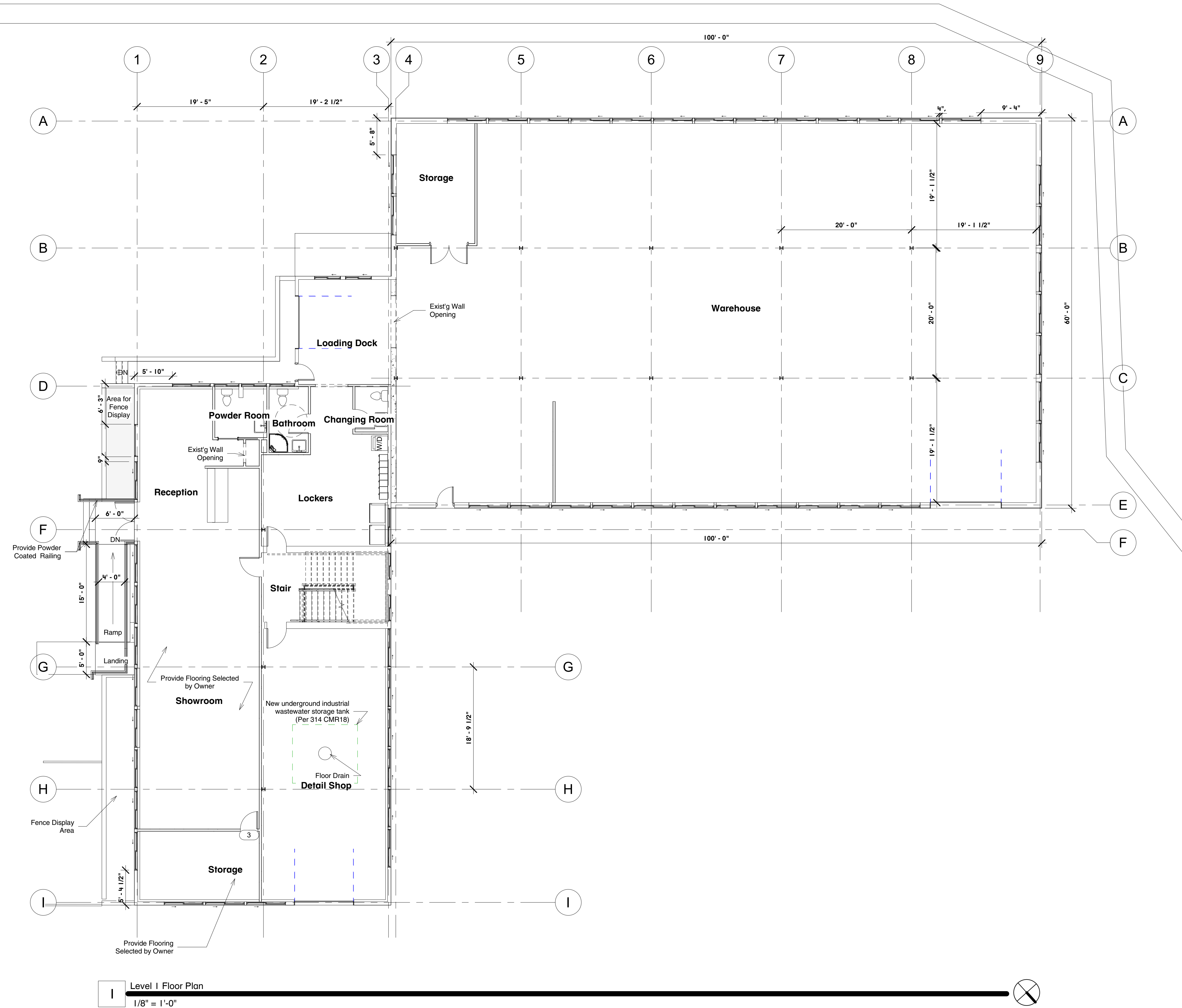
Demo Plan

Scale: As indicated

Date: 04/07/2023

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D100



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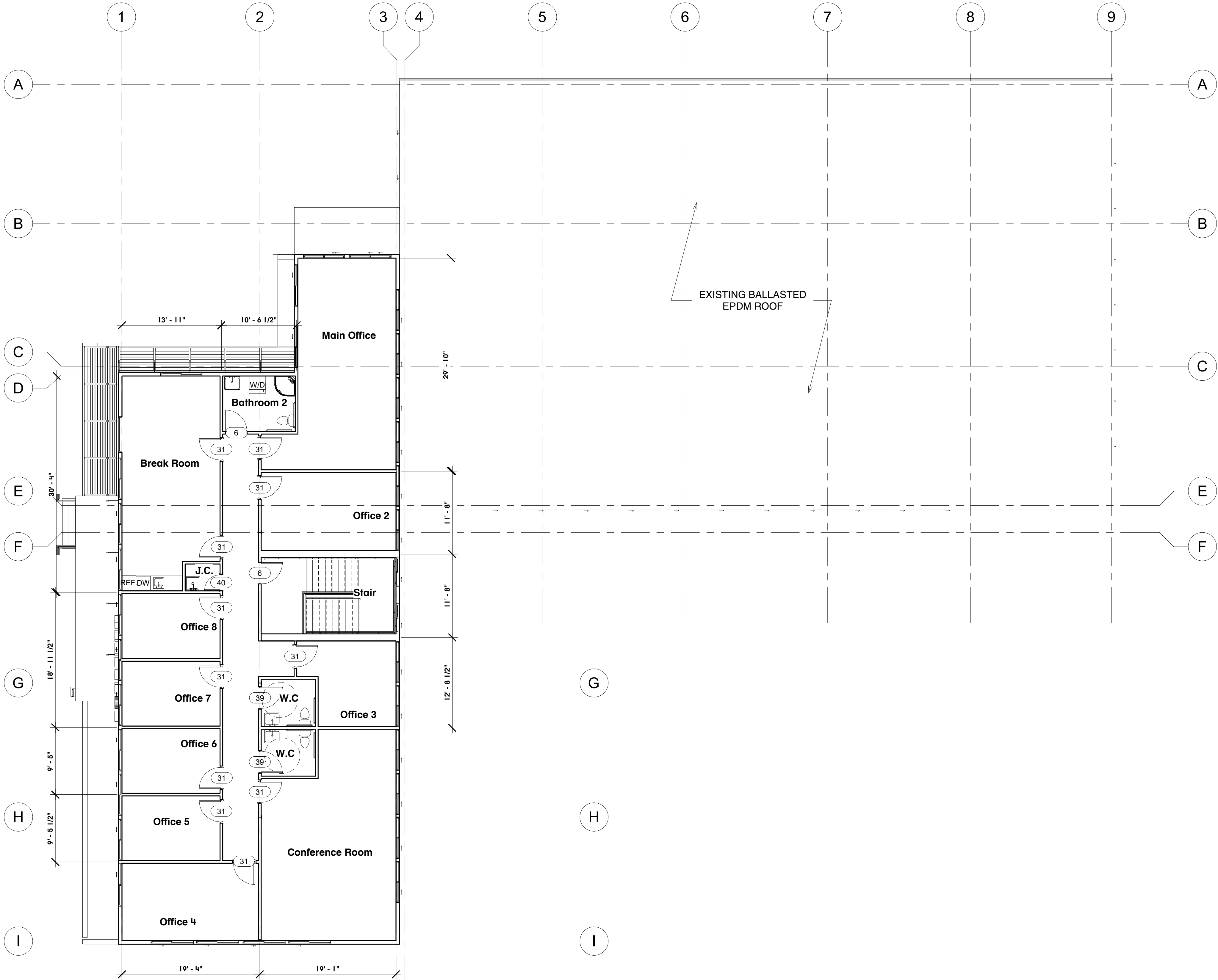
Level 2 Floor  
Plan

Scale: As indicated

Date: 02/22/2023

Sheet

A102



I Second Floor  
1/8" = 1'-0"



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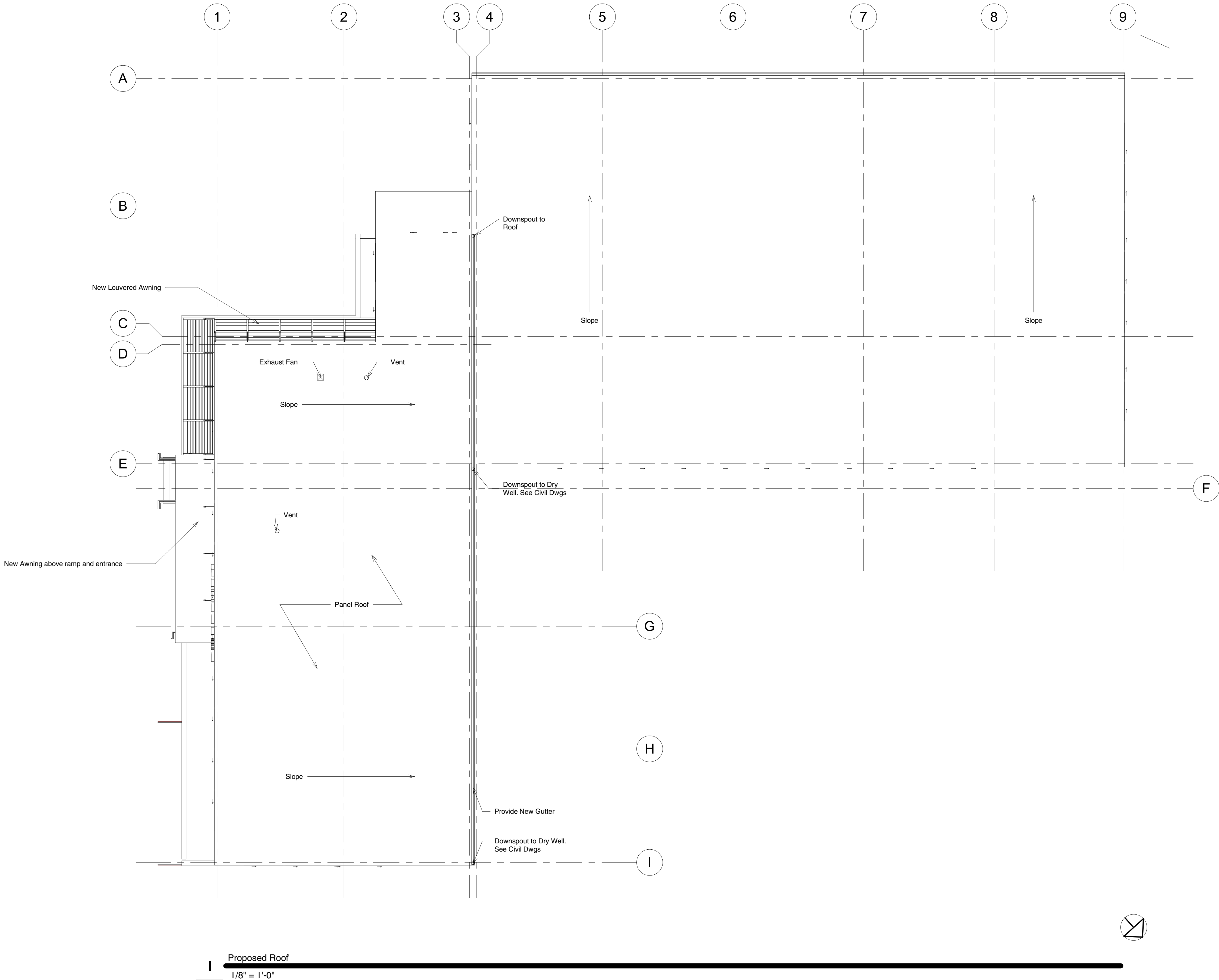
Roof Plan &  
Details

Scale: 1/8" = 1'-0"

Date: 02/22/2023

Sheet

A103



**I** Proposed Roof  
1/8" = 1'-0"



No.	Date	Revision

